



AGENDA & Notice of Planning Commission Work Session Meeting

The Planning Commission of the City of Newport will hold a work session meeting at **6:00 p.m., Wednesday, June 22, 2015**, at the Newport City Hall, Conference Room "A", 169 SW Coast Hwy., Newport, OR 97365. A copy of the meeting agenda follows.

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired, or for other accommodations for persons with disabilities, should be made at least 48 hours in advance of the meeting to Peggy Hawker, City Recorder, 541-574-0613.

The City of Newport Planning Commission and the City Council reserve the right to add or delete items as needed, change the order of the agenda, and discuss any other business deemed necessary at the time of the work session.

NEWPORT PLANNING COMMISSION Monday, June 22, 2015, 6:00 p.m.

AGENDA

A. Unfinished Business.

1. Review Draft Zoning Code Changes to NMC Chapter 14.30 incorporating updates to the Design Guidelines and Standards as recommended by the Nye Beach Design Review Ad Hoc Work Group.

B. Adjournment.

Memorandum

To: Newport Planning Commission
From: Derrick Tokos, Community Development Director
Date: June 18, 2015
Re: Draft Revisions to Nye Beach Design Review Code and Guidelines

Enclosed is a copy of draft revisions to the Nye Beach Design Review Guidelines and Zoning Ordinance developed in consultation with the Ad-Hoc Work Group that the Planning Commission pulled together to work on the 10-year review of the code, required by ordinance. Key changes include:

- (A) Design review under the guidelines will be required for a greater number of projects. Currently, a review under the guidelines by the Planning Commission is required for structures over 100-feet in length and 35-feet in height. The 100-foot threshold is proposed to be reduced to 65-feet.
- (B) Design guidelines have been updated. SERA Architecture assisted the work group to clarify the intent of each guideline and to identify approaches a developer can take to satisfy them. This will provide developers, decision makers, and the public with a better understanding of the design elements a project must possess in order for it to be approved.
- (C) New guideline developed to address solar impacts. Development subject to the design guidelines will need to take steps to avoid excessively shading neighboring properties.
- (D) Design standards have been revised to ensure that they are clear and objective. SERA Architecture assisted the work group in identifying discretionary language and redrafting it so that it is explicit about what is required. This will help developers, staff, and the public to better understand the design elements that can be used to secure an approval. Projects must incorporate a larger number of design elements. Larger buildings must also satisfy new standards to ensure they visually align with the scale of existing development in Nye Beach.
- (E) Illustrations have been refreshed. New illustrations have been prepared and existing illustrations refreshed to more clearly identify desired design elements.
- (F) Definitions and review procedures have been consolidated. Some of the definitions have been revised to align with “like type” definitions elsewhere in the Municipal Code. The definition for substantial improvement is more permissive, allowing structural renovations up to 50% of the market value before design review is triggered. The threshold for review of accessory structures is reduced to align it with building code standards that stipulate when a building permit is required.
- (G) Boundary of the design review overlay has been revised. Changes include the removal of R-2 zoned property and a small amount of C-2 zoned property next to The Whaler Motel. A small amount of R-4 zoned property will be added to the north end of the overlay.

The Ad Hoc Work Group has completed its review of the code and guidelines. This work session is an opportunity for the Commission to review and discuss the proposed changes. I'll also be looking for a general consensus as to whether or not the Commission is ready to initiate the formal adoption process.

Attachments

Draft Revisions to NMC Chapter 14.30, Design Review Standards (6-22-15)
Draft Revisions to Historic Nye Beach Design Review Guidelines, Glossary, and Illustrations (6-22-15)
Map showing changes to the Design Review Overlay Boundary (labeled Exhibit A)
Minutes from the June 17, 2015 Ad Hoc Work Group Meeting

CHAPTER 14.30 DESIGN REVIEW STANDARDS

14.30.010 Purpose. Design review districts may be adopted by the City of Newport in accordance with applicable procedures to ensure the continued livability of the community by implementing standards of design for both areas of new development and areas of redevelopment. Design review is an important exercise of the power of the City to regulate for the general welfare by focusing on how the built environment shapes the character of the community.

The Newport Comprehensive Plan identifies six potential urban design districts within the Newport Peninsula including the City Center District (and Highway 101 corridor), Waterfront District, Nye Beach District, Upland Residential District, East Olive District, and the Oceanfront Lodging/Residential District. Additionally, neighborhood plans may be adopted for other areas of Newport that include as an objective the implementation of design review to maintain and/or provide a flexible approach to development by offering two methods of design review from which an applicant can choose. One method of design review is under clear and objective design standards and procedures to allow development that is consistent with the standards to occur with certainty in a timely and cost effective manner. A second alternative method of design review is review under design guidelines, which are a more flexible process for proposals that are creative/innovative and meet the identified guidelines of the applicable design review district.

It is further the purpose of these standards to:

- A. Preserve the beautiful natural setting and the orientation of development and public improvements in order to strengthen their relationship to that setting.
- B. Enhance new and redeveloping architectural and landscape resources to preserve and strengthen the historic, scenic and/or identified neighborhood character and function of each setting.
- C. Improve the vehicular and pedestrian networks in order to improve safety, efficiency, continuity, and relationships connecting Newport neighborhoods.
- D. Strengthen Newport's economic vitality by improving its desirability through improved appearance, function, and efficiency.

- E. Improve the built environment in order to strengthen the visual appearance and attractiveness of developed areas.
- F. Implement the goals and objectives of the adopted neighborhood plans.

Staff: No changes are proposed to the purpose section.

~~14.30.020~~ Definitions (Deleted)

Staff: Defined terms will be consolidated into the Definitions chapter of the Zoning Ordinance (see language at the end of this document).

~~14.30.030~~ Council Review of Design Review Districts (Deleted)

Staff: The 10-year review requirement provided for in this section has been satisfied.

14.30.020 Design Review Districts: Overlay Zones Established. The following:

- A. Historic Nye Beach Design Review District. The Historic Nye Beach Design Review District Overlay Zone shall be indicated on the Zoning Map of the City of Newport with the letters HNBO and is the area described as follows:

Prepare updated legal description to match Exhibit A

Staff: Previously Section 14.30.040. Only change will be to the legal description of the overlay boundary. The new legal description will match the boundary shown on the Exhibit A map.

14.30.030 Adoption of Design Review: Guidelines and Standards. The document entitled "Newport Design Review: Guidelines and Standards" dated **(use date Exhibit B adopted), is hereby adopted by reference and made a part hereof. The guidelines and standards contained therein shall be the guidelines and standards applicable to the Historic Nye Beach Design Review District.**

Staff: Previously Section 14.30.050. Only proposed change is to the adoption date, which will be that of the new guidelines.

14.30.040 Design Review Required. The following development activities in an established design review district are required to obtain a design review permit under the design standards in an identified design review district or, in the alternative, to apply for a design review permit and to obtain approval under the design guidelines for that design review district:

- A. New construction, substantial improvement, or relocation of one or more dwelling units.
- B. New construction, substantial improvement, or relocation of a commercial or public/institutional building.
- C. New construction, substantial improvement, or relocation of a residential accessory structure that contains more than 200 square feet of gross floor area and is not more than 10 feet in height.
- D. New construction, substantial improvement, or relocation of a commercial accessory structure that contains more than 120 square feet of gross floor area.
- E. An addition that increases the footprint of an existing building by more than 1,000 square feet.

Staff: Previously Section 14.30.070. Exemption provisions have been split out of this section and the thresholds for when design review is required have been adjusted. Substantial improvement is a defined term that is 50% of the fair market value of a structure. Reference to single family dwelling replaced with dwelling unit to pick-up attached residential and multi-family developments. Relocation provision is no longer limited to structures being brought into the district (i.e. it now applies to the relocation of structures within the district). Threshold for accessory structure review reduced to 120 square feet, which matches the threshold for when permits are required by the Building Code. Eliminated provision requiring review for additions to buildings or accessory structures that increase the gross floor area by more than 50% because it is redundant (i.e. such an expansion most likely constitutes a substantial improvement).

14.30.050 Exemptions. The following activities are exempt from the provisions of this chapter:

- A. Development activity that is subject to the provisions of Newport Municipal Code Chapter 14.23, Historic Buildings and Sites.
- B. Any project for improvement of a structure to comply with existing state or local health, sanitary, or safety code specifications that are solely necessary to assure safe living conditions.
- C. Development that does not involve the construction, substantial improvement, or relocation of a dwelling unit, commercial or public/institutional building, or accessory structure.

Staff: New section. The exemption for modifications to historic buildings currently exists in NMC 14.30.070. It has been relocated for clarity. Projects that are undertaken solely for sanitary or safety reasons are not included in the definition of "substantial improvement." The exemption for projects that do not include buildings is currently in place because review is not triggered for those types of projects, it just isn't explicitly stated.

14.30.060 Approval Authority. The following are the initial review authorities for a Design Review application:

- A. Community Development Director. For projects subject only to the design standards specified in the document entitled "Newport Design Review: Guidelines and Standards," dated (use date Exhibit B adopted). The approval or denial of a Design Review application by the Community Development Director is a ministerial action performed concurrent with City review of a building permit.
- B. Planning Commission. For projects that require design review under the design guidelines contained in the document entitled "Newport Design Review: Guidelines and Standards," dated (use date Exhibit B adopted), including the following:
 - 1. New construction, substantial improvement, or relocation of a dwelling unit; commercial or public/institutional building; or accessory structure that is over 65 feet in length or 35 feet in height; or
 - 2. New construction, substantial improvement, or relocation of a dwelling unit; commercial or

public/institutional building; or accessory structure that does not meet the design standards contained in the document entitled "Newport Design Review: Guidelines and Standards" dated **(use date Exhibit B adopted)**; or

3. New construction, substantial improvement, or relocation of a dwelling unit; commercial or public/institutional building; or accessory structure that involves a conditional use, a variance, or any other type of land use permit for which a Type III Land Use Action decision process is required, pursuant to Chapter 14.52, Procedural Requirements.

Staff: Previously Section 14.30.080. Redrafted to include thresholds for Planning Commission review that are consistent with the analysis conducted by SERA Architects, and the general consensus reached by the Ad Hoc Work Group at its February 25, 2015 meeting. Language describing how an approval authority is to approach its decisions and an applicant's appeal rights has been deleted as that is adequately covered in Chapter 14.52, Procedural Requirements. Language addressing how modifications can be made to an approved design has been broken out as a separate section (below).

14.30.070 Application Submittal Requirements.

- A. For requests that are subject to Community Development Director review for compliance with design standards, an application for Design Review shall consist of the following:
 1. A completed and signed City of Newport Building Permit Application Form.
 2. Building plans that conform to the submittal requirements for a building permit that include a site plan, floor plan, exterior architectural elevations, cross-section drawings, and construction specifications illustrating how the design standards have been met.
 3. A written checklist identifying the design elements used to comply with the design standards.
- B. For requests that are subject to Planning Commission review for compliance with design guidelines, an

application for Design Review shall consist of the following:

1. Submittal requirements for land use actions listed in Section 14.52.050.
 2. Exterior elevations of all buildings on the site as they will appear after development. Such plans shall indicate the material, texture, shape, and other design features of the building(s), including all mechanical devices.
 3. A parking and circulation plan illustrating all parking areas, drive isles, stalls, and points of ingress/egress to the site.
 4. A landscape plan showing the location, type and variety, size and any other pertinent features of the proposed landscaping and plantings for projects that involve multiple-family (more than 2 units), commercial, and public/institutional development.
 5. A lighting plan identifying the location and type of all permanent area lights, including parking area lighting, along with details of the lighting fixtures that are to be installed.
 6. A written set of proposed findings that explain how the project complies with the applicable design guidelines.
 7. Any other information the applicant believes is relevant to establishing that the project complies with applicable design guidelines.
- C. All plans shall be drawn such that the dimensions can be verified with an engineers or architects scale.

Staff: Previously Section 14.30.090. Section has been redrafted for clarity. New submittal requirements added to ensure the Planning Commission has sufficient information to determine whether or not the design guidelines are met.

14.30.080 Permitted Uses

In addition to uses permitted outright or conditionally in the underlying zoning district, the following uses are permitted within areas subject to design review.

A. Historic Nye Beach Design Review District.

1. Tourist Commercial (C-2) zoned property.
 - a. Up to five (5) multi-family dwelling units per lot or parcel are permitted outright provided they are located on a floor other than a floor at street grade.
 - b. A single-family residence is permitted outright if located on a floor other than a floor at street grade.
 - c. A single-family residence is permitted outright, including the street grade floor, within a dwelling constructed prior to January 1, 2004. Residential use at the street grade is limited to the footprint of the structure as it existed on this date.
 - d. Single family, duplex, triplex, fourplex and multifamily dwelling units, including at the street grade, are permitted outright on property located south of NW 2nd Court and north of NW 6th Street that front NW and SW Coast Street, NW and SW Cliff Street, and W. Olive Street.
2. High Density Multi-Family Residential (R-4) zoned property.
 - a. Uses permitted outright in the C-2 zone district that are not specified as a use permitted outright or conditionally in the R-4 zone district, are allowed subject to the issuance of a conditional use permit in accordance with the provisions of Chapter 14.34, Conditional Uses and subject to the limitation that the use not exceed a total of 1,000 square feet of gross floor area. This provision does not preclude an application for a use as a home occupation under Chapter 14.27, Home Occupations.

Staff: Previously a part of Section 14.30.060, Special Zoning Standards in Design Review Districts. Permitted uses are addressed separate from dimensional standards. Revisions clarify the allowance for residential use in the C-2 zone.

14.30.090 Prohibited Uses

The following uses are prohibited within areas subject to Design Review.

A. Historic Nye Beach Design Review District

1. Any new or expanded outright permitted use in the C-2 zone district that exceeds 2,000 square feet of gross floor area. New or expanded uses in excess of 2,000 square feet of gross floor area may be permitted in accordance with the provisions of Chapter 14.34, Conditional Uses.
2. Recreational vehicle parks within the Tourist Commercial (C-2) and Public Structures (P-1) zoning districts.

Staff: Previously a part of Section 14.30.060, Special Zoning Standards in Design Review Districts. Language restricting uses that would otherwise be permitted has been pulled out for clarity. The Ad Hoc Work Group may want to revisit whether or not the 2,000 square foot limitation is appropriate considering the changes that are being made to the design guidelines and standards.

14.30.100 Special Zoning Standards in Design Review Districts. All zoning standards and requirements applicable under Ordinance No. 1308 (as amended) in the subject zoning district shall apply, except that the following additional zoning standards are applicable for the design review district as applicable in the underlying zoning designation and shall be modified for each district as specified.

A. Historic Nye Beach Design Review District:

1. No drive through windows are allowed.
2. Commercial buildings with frontage on NW and SW Coast Street, W Olive Street, NW and SW Cliff Street, NW Beach Drive, and NW Third Street shall be set back from the property line fronting the street no more than 5 feet unless the development provides for a pedestrian oriented amenity (such as a courtyard, patio, or café with outdoor seating), compliance with the setback is precluded by topography or by easement, or a larger setback is authorized by the Planning Commission through the design review process.
3. Required yards and setbacks established in Chapter 14.11 (Required Yards and Setbacks) and Chapter 14.18 (Screening and Buffering between Residential and Non-Residential Zones) shall be reduced by 50%,

except for Section 14.11.030, Garage Setback, which is to remain at 20-feet.

4. The following adjustments to Chapter 14.12 (Minimum Size) and Chapter 14.13 (Density Limitations, Table "A") are allowed within the District.
 - a. The minimum lot area within both the R-4 and C-2 zones shall be 3,000 square feet.
 - b. The minimum lot width for the R-4 zone shall be 30 feet.
5. Residential use permitted on C-2 zoned property located south of NW 2nd Court and north of NW 6th Street that front NW and SW Coast Street, NW and/or SW Cliff Street, and W. Olive Street shall comply with the following additional requirements:
 - a. The maximum density per residential unit is 1,250 square feet per unit.
 - b. The maximum building height is 35 feet.
 - c. The maximum lot coverage in structures is 64%. If the proposed residential use provides at least 1 off-street parking space for each dwelling unit in a below-grade parking structure (for the purposes of this section below-grade is defined to mean that 50% or more of the perimeter of the building is below-grade) located directly below the residential portion of the structure, the maximum lot coverage allowed is 90%.
 - d. The residential use provides at minimum 1 off-street parking space for each dwelling unit.
 - e. At least one residential building per lot is set back from the property line abutting the street no more than 5 feet.
6. The following adjustments to the off-street parking requirements of Chapter 14.14 (Parking, Loading, and Access Requirements) are provided for uses within the District:
 - a. Commercial uses shall have the first 1,000 square

feet of gross floor area exempted from the off-street parking calculation.

- c. All uses within the District shall be allowed an on-street parking credit that shall reduce the required number of off-street parking spaces by one off-street parking space for every one on-street parking space abutting the property subject to the following limitations:
 - i. Each on-street parking space must be in compliance with the City of Newport standards for on-street parking spaces.
 - ii. Each on-street parking space to be credited must be completely abutting the subject property. Only whole spaces qualify for the on-street parking credit.
 - iii. On-street parking spaces credited for a specific use may not be used exclusively by that use, but shall be available for general public use at all times. No signs or actions limiting general public use of on-street parking spaces are allowed except as authorized by the City of Newport.

Staff: Previously Section 14.30.060. Section has been redrafted for clarity. Garage setback requirement returned to 20-feet and provision requiring a Conditional Use Permit for buildings with an exterior dimension of 100 feet or more has been deleted. Both of these changes were made as a result of discussions with the Ad Hoc Work Group. Language allowing B&B uses on any floor of a dwelling has been deleted because it is redundant (i.e. issue was addressed with VRD code update (Ord. No. 2032, effective 7/1/12). Remonstrance agreement requirement deleted because the issue was addressed with Chapter 14.44, Transportation Standards (Ord. No. 2045, effective 12/30/12).

~~14.30.100~~ Procedural Requirements. (Deleted)

Staff: This section has been deleted because it is redundant. City has consolidated review procedures for all land use actions in Chapter 14.52, Procedural Requirements.

~~14.30.110~~ Time Limit on Design Review Permit. (Deleted)

Staff: This section has been deleted because it is redundant. Expiration

dates for land use actions is addressed in Section 14.52.140.

14.30.110 Modification of a Design Review Permit. A modification of an approved design may be requested of the approving authority for any reason by an applicant. Applications for a modification shall be submitted and processed in the same manner as the original application.

1. If the requested modification is from an approval issued under design standards, the modification request shall be approved by the Community Development Director if the modification also meets the design standards.
2. If the modification does not meet the design standards or if the modification is from an approval issued under the design guidelines, the modification shall be processed under the design review process for compliance with the applicable design guidelines. The Commission's authority is limited to a determination of whether or not the proposed modification is consistent with the applicable design review guidelines.

Staff: This subsection was previously part of NMC 14.30.080. The language has been streamlined, with no material changes.

14.01.020 DEFINITIONS

As used in this ordinance, the masculine includes the feminine and neuter, and the singular includes the plural. The following words and phrases, unless the context otherwise requires, shall mean:

Community Development Director. The City of Newport Community Development Director/Planning Director or designate.

Design Guidelines. The discretionary design oriented approval criteria with which a project is required to be in compliance. The design guidelines are applicable for applications that do not meet the design standards.

Design Review. The process of applying design guidelines

and/or design standards as applicable to a project.

Design Standards. Clear and objective design oriented approval criteria with which a project must demonstrate compliance. If a project does not meet the design standards, then the project is reviewed under the design guidelines.

Footprint. The total square footage of the area within the perimeter of the building as measured around the foundation of a building.

Gross Floor Area. The total area of a building measured by taking the outside dimensions of the building at each floor level intended for occupancy or storage.

Substantial Improvement. Any repair, reconstruction, or improvement of a structure, the cost of which equals or exceeds 50% of the market value of the structure either:

- A. before the improvement or repair is started; or
- B. if the structure has been damaged and is being restored, before the damage occurred. For the purposes of this definition, "substantial improvement" is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure. The term does not, however, include either of the following:
 - 1. Any project for improvement of a structure to comply with existing state or local health, sanitary, or safety code specifications that are solely necessary to assure safe living conditions; or
 - 2. Any alteration of a structure listed on the National Register of Historic Places or the State Inventory of Historic Places.

Staff: As previously noted, Section 14.30.020 has been deleted and definitions have been moved to 14.01.020. This is consistent with the Commission's objective of consolidating definitions in one chapter as sections of the code are updated. Definitions for "Design Guidelines" and "Design Standards" have been modified to clarify that the guidelines are discretionary whereas the standards are not. The definition for Gross Floor Area was revised to match the language used in the definition contained in the off-street parking section of the

Zoning Ordinance (NMC 14.14.020). Both definitions were materially the same. The definition for “substantial reconstruction” was deleted and replaced with the definition “substantial improvement.” The latter term is used in the City’s floodplain and sign codes (NMC 14.20.20(28) and 10.10.120(C)). It allows a little more flexibility in terms of changes that can be made to a structure before it is subjected to design review, and is clearer in terms of its meaning.

DRAFT

NEWPORT DESIGN REVIEW: GUIDELINES AND STANDARDS

November 10, 2003 (Updated _____, 2015)

City of Newport Ordinance No. _____



Cliff House 1913



Sylvia Beach Hotel
(New Cliff House)

NEWPORT DESIGN REVIEW

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Design Review District #1
Historic Nye Beach Design Review Requirements



Linger Longer Lodge, Nye Beach 1931



High Street Cottages --713 NW High Street

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DESIGN REVIEW DISTRICT # 1

HISTORIC NYE BEACH DESIGN REVIEW REQUIREMENTS

I. INTRODUCTION:

All new, substantially reconstructed, expanded, or relocated single-family, multiple-family, commercial, and public/institutional building developments unless specifically exempted within the Historic Nye Beach Design Review District Overlay Zone are to be reviewed for compliance with the design review requirements established for the zone. Design review is implemented through either of two methods:

- 1) design guidelines or
- 2) design standards.

The design guidelines are mandatory requirements of a general nature with which a proposed building must comply and applications are generally processed as a limited land use application requiring review after public notification. Alternatively, the design standards are mandatory requirements that are of a clear and objective nature and are reviewed in conjunction with an application for a building permit.

The purpose of providing design guidelines and design standards is to guide development consistent with the purposes of the Historic Nye Beach Design Review District as defined in Section 14.30.010 of the Newport Municipal Code (Ordinance No. 1308 (as amended)) and to provide clarity to the process so that development consistent with the design review requirements can move forward with certainty and efficiency.

While the design standards are not intended to discourage creativity and innovation in design, they are established to require incorporation of common elements and features deemed desirable by the community in the Nye Beach area. Freedom of expression in architectural design should be encouraged where it is compatible with the surrounding neighborhood and the character of Nye Beach.

Projects requiring more flexibility than provided by the design standards may utilize the design guidelines to demonstrate a project's consistency with both the general purposes of the guidelines and the character of the immediate neighborhood. Unless specifically exempted by the zoning ordinance, the design standards and guidelines are standards required in addition to the requirements of the base zone.

The Nye Beach District is one of the districts identified by the Newport Comprehensive Plan as suitable for design review. The Newport Comprehensive Plan describes the Nye Beach District in the Chapter titled "Newport Peninsula Urban Design Plan" as follows:

The Nye Beach District is significant for the collection of cohesive architectural resources and landscape elements which reflect a working-class neighborhood. The area consists of wood frame buildings, 1 to 2 1/2 stories in height, covered with gable and hip roofs, and clad with clapboard, shingle and/or fire retardant siding. The landscape character of the area is defined by rock walls, terraces, sidewalks, and small front lawns. There are some small scale commercial buildings within this residential neighborhood which relate directly in building materials, scale, and massing to the character of the area. (Some changes have occurred in the neighborhood, including building alterations such as retardant siding materials and infill of non-compatible buildings on once vacant properties.) The Nye Beach sub-area is most important as a cohesive neighborhood, defined by the character of the vernacular buildings and the building/site relationship.

One intent of design review as applied to development within the district is to maintain the cohesive architectural character of Nye Beach by incorporating common architectural design elements currently and historically found within the neighborhood without requiring strict adherence to a particular architectural style. A few of the architectural styles found currently and historically within the district which demonstrate its architectural character include the following (information on styles below from the Rosalind Clark/City of Albany, **Architecture Oregon Style**, Professional Book Center, Inc. Portland, OR (1983):

The **Bungalow and Craftsman** style prevalent in the 1900-1925 period and features gable or hipped roofs, exterior chimneys of cobblestone or rough brick, rectangular composition with horizontal earth hugging quality, double-hung windows with small panes in the upper sash, large windows often flanked by two smaller windows on front facade, dormer windows with gable, hipped, or shed roof, wood-frame construction, porches, verandas, sunrooms, and sleeping porches often supported by tapered porch posts (truncated obelisks).

The **Stick and Eastlake** style prevalent in the 1870-1900 period and features steeply pitched, multiple gable roofs (sometimes in combination with a hipped roof), verandas or porches, balconies featuring posts with diagonal braces, asymmetrical composition with vertical emphasis, one-over-one double-hung sash windows, bay windows, dormer windows, wood-frame construction with shiplap siding, matched siding with "stickwork" and paneling, decorative Eastlake elements such as rows of spindles and knobs, turned columns, latticework, circular perforations and cutouts, sunbursts, and curved brackets.

The **Colonial and Georgian** Style prevalent in the 1910-1935 period and features low pitched hipped, gable, or gambrel roofs, small chimney, bilateral symmetry, small paned rectangular windows often with shutters, dormer windows, fanlights and side lights with transoms, wood frame construction with six-inch or narrower weatherboard siding or shingles for the smaller Cape Cod cottages, decorative elements including columns in classical orders, pilasters, and broken and scrolled or swan's neck pediments.

This document entitled "Newport Design Review: Guidelines and Standards" and the design review requirements on the following pages have been adopted in Chapter 14.30 of the Newport Municipal Code (Ordinance No. 1308 (as amended)) as implementation tools for the ordinance. Conformance with the design review requirements is mandatory. Chapter 14.30 of the Municipal Code contains additional information on when design review is required and how to apply for design review. A copy of that section of the ordinance should accompany this document.

The design guidelines are intended to provide a general direction for development. The design standards are a method of implementing the broader design guidelines. The design guidelines must be consulted and an explanation of how the project meets the guidelines or why the guideline should not apply needs to be submitted when requesting design review under the design guidelines. For assistance in understanding the guidelines and standards, please consult the attached glossary and illustrations or contact the Community Development Department located at 169 SW Coast Highway, Newport, OR 97365 or (541) 514-0629.

II. DESIGN GUIDELINES: The following guidelines are mandatory for projects requiring design review in Design Review District# 1 (Historic Nye Beach Design Review District) and that do not qualify for review under the design standards. For commercial projects, including hotel/motel, which exceed the maximum dimensions to qualify for the Design Standards approach (i.e. 65-feet in length or 35-feet in height), it is generally expected that building massing and design **meet or exceed** the level of articulation called for in the Design Standards.

Design Guideline # 1: Contextually-Appropriate Design

Intent: For residential development, the architectural heritage of the Nye Beach area - as documented in historical photos and drawings or by photographs presented in support of the development - shall be maintained.

Approaches:

- New development should utilize roof types common to the district, such as steep pitched gable, multiple lower pitched gable, or hip.
- New development should include in the design common main facade elements (such as porches, verandas, sunrooms and/or other architectural/design features as identified in the design standards or as documented to exist within the design review district).
- Buildings shall feature variety in building shape, height, roof lines, setbacks, and design features consistent with the design guidelines.
- For multiple family development (greater than 2 units), trash collection areas shall be screened.

Reference: *Illustrations #2, #3, #4, #5, and #7.*

Design Guideline 2: Building Scale

Intent: Commercial building elements oriented towards a public or private street shall incorporate specific elements that contribute to the established scale of the district and support an active streetscape.

Approaches:

- Commercial buildings (excluding portions of a hotel/motel where guest rooms are on the ground floor) shall support retail visibility and appropriate district scale by utilizing banks of windows with multiple small windows (less than 20 square feet) and/or large windows with multiple panes along all sides abutting a public right-of-way.
- The contextual scale of new large commercial buildings over two stories shall be reduced by using horizontal or vertical divisions and stepped roof lines.
- Buildings greater than one story in height shall be designed with canopies, balconies, offsets in the building facade along each public right-of-way, or other architectural/design features that reduce the building's vertical emphasis.
- Buildings greater than 2 stories, and/or longer than forty feet (40') shall include two or more of the following elements to break down the scale of the building:
 - A significant offset (3' minimum depth, 8' minimum width) in the full building massing (Illustration # 10).
 - A step-back (6' minimum) of floors above the second floor.

- Subdivision into a series of distinct building masses, articulated as separate structures.
- Multiple ground floor entries at 30' maximum spacing.

Reference: *Illustrations #6, # 7 and #8.*

Design Guideline 3: Roof Design

Intent: Roofs should have similar configuration and character to historic styles in the district.

Approaches:

- Roof slopes on commercial projects shall be between 5:12 and 12:12 unless there is a flat roof with parapet.
- Mechanical equipment shall be screened and integrated into the roof design.
- Roof shapes shall be consistent with traditional styles found in the neighborhood.
- A standing seam is recommended for metal roofs.
- Gable and hip roof forms are recommended.
- Parapet walls shall be integrated into the building.

Reference: *Illustrations #2, #5, #6 and #7*

Design Guideline 4: Commercial Buildings Define Continuous Street Edge

Intent: Support safe and “walkable” streets by creating a traditional town pattern of commercial buildings lining public streets. Create high visibility between commercial interiors and public ways.

Approaches:

- In commercial areas, commercial buildings shall abut the front property line. Allowable exceptions to the requirement to abut the front property line include areas where the existing buildings adjacent to the property are set back from the property line, where a pedestrian oriented feature such as a courtyard, patio, landscaped area with seating or outdoor cafe seating is included, or where severe topography or an easement precludes the building abutting the front property line.
- Commercial buildings shall abut a side yard property line where possible except to allow access for parking or fire egress, the side abuts a zoning district which requires a side yard, or a setback is required for ocean front lots.
- Separation between building walls at the street level shall be avoided except for pedestrian and parking access, or a pedestrian oriented feature such as a courtyard, patio, landscaped area with seating or outdoor cafe seating is included.
- Front and side yard setbacks, where they exist, shall be fully landscaped or shall provide a pedestrian oriented feature as described previously.
- On commercial, institutional, public, and multiple family residential (with three or more units) buildings, a primary entrance to the building shall face the frontage street. Entries from off-street parking lots shall not be made more prominent than the entrance from the street.
- Trash collection areas shall be screened.

Reference: *Illustrations # 5, # 6, # 7, and # 8.*

Design Guideline 5: Consistency with Predominant Styles and Features

Intent: Buildings shall generally be compatible in design and appearance with other buildings in close proximity by including similar types of architectural features and materials.

Approaches:

- Proposed buildings shall include design features that are consistent with the design standards and are similar in nature to buildings in direct proximity to the site.
- Where the surrounding buildings predominately do not include architectural features found in the design standards, the proposed building subject to design review shall include architectural features that are common to the district as identified in the design standards or by findings documenting similar architectural features found within the design review district.
- Where the surrounding buildings predominately do not include architectural features found in the design standards or in the design review district, innovation and creativity in design may be allowed consistent with the design guidelines.
- In keeping with traditional styles, where a transition is made in the building's siding material, the transition should occur at an inside corner, rather than an outside corner.

Reference: *Illustrations # 7, #8, and #11*

Design Guideline 6: Parking Orientation and Building Form

Intent: For commercial and multiple family residential (greater than 2 dwelling units) projects, the building massing shall not be shaped by off-street parking. Building massing should generally take traditional forms that are observed in the district, the historical record of Nye Beach, or that can be demonstrated to be consistent with the dominant architectural styles of the district.

Approaches:

- On-site parking shall be at the rear or side of the building or below street grade underneath the building with access via alleys or interior streets unless, based on review of the project, the review authority determines that topography such as steep slopes precludes side or rear parking.
- Parking garages shall utilize similar architectural details as the main building.
- Shared parking facilities are allowed and are encouraged.
- Views of parking areas from adjacent residential and commercial uses shall be screened through the use of landscaping and/or fencing.
- Pedestrian paths shall be clearly defined. Textured pavings are preferred over painted stripes for defining walkways.

Reference: *Illustrations #6 and #9.*

Design Guideline 7: Connected Pedestrian Network

Intent: Maintain and reinforce the walking environment of Nye Beach with a network of public sidewalks and private paths.

Approaches:

- For commercial projects, provide pedestrian paths to create linkages between adjoining public and private spaces.
- Circulation routes shall be continuous and integrated into the larger pedestrian circulation network.
- Specialty paving is encouraged.

Reference: *Illustrations #6 and #9.*

Design Guideline 8: Exterior Lighting and Glare Avoidance

Intent: Provide a well-lit public environment, while minimizing the incidence of glare.

Approaches:

- Exterior permanent lighting for commercial projects shall be restrained by using lighting features that minimize the impact of lighting such as full-cut off fixtures, low wattage bulbs, and/or recessed or shielded lighting, such that no direct glare occurs onto public right-of-way or adjacent property.
- Where building-mounted lighting – wall sconces, awning-mounted downlights, etc. - is used to illuminate an adjacent public sidewalk, the lighting source itself should be recessed or screened to avoid uplight and glare. Targeted uplighting may be used to draw attention to a specific design element provided it is directed at that feature.
- Areas used extensively at night shall only be illuminated to the extent necessary for safety and security.
- On-site lighting shall be related to the site and retained on the site by directing the light downward, recessing the light, and/or shielding the light. Lighting fixtures shall complement the architectural character of the building.
- If landscape lighting is used, the landscape lighting shall be restrained by using lighting techniques (i.e. recessing the light, shielding the light, using low wattage bulbs) that minimize the impact of light.
- The use of light poles similar in appearance to the light poles installed as part of the Nye Beach Streetscape Project is acceptable for parking lot lighting and other lighting for which a light pole is used.

Design Guideline 9: Requirements for solar access:

Intent: Ensure new development projects do not excessively shade neighboring properties.

Approaches:

- Commercial and multi-family buildings shall be massed to avoid casting a direct shadow onto the public sidewalk across a bordering street.
- The third story on a commercial or multi-family building shall be stepped back to minimize shadowing of adjoining properties.
- Solar impacts shall be assessed for the following times
 - Time of year: between February 21 and October 21
 - Time of day: between 10:00 am and 2:00 pm
- Projects of greater than 2 stories shall submit a simple solar shading sketch that shows conformance with this standard.

Reference: *Illustration #12.*

III. DESIGN STANDARDS (For Design Review District #1: Historic Nye Beach):

A. SINGLE-FAMILY (SF) AND TWO-FAMILY (T) DWELLINGS:

All single-family and two-family dwellings subject to design review are required to either meet the design standards (SFT DS # 1-4) identified below or to apply for design review under the design guidelines.

Design Standards (DS):

SFT Design Standard # 1. Requirement for roofs, main facade features, and other common design elements. All single-family and two-family dwellings subject to design review under the design standards are required to have at least one element from Element A (Roofs) and at least two elements from Element B (Main facade Features) on the main facade or as specified.

A) **ELEMENT A. Roofs (See Illustration # 2).** All roof types shall contain eaves and rakes with a minimum 12-inch projection and be one of the following:

- (1) Low-pitched (between 3:12 and 5:12) gable roofs) with two or more distinct (minimum of 10 foot width along the facade and 5 foot of depth with a separate roof line) low-pitched gable roof elements on the main dwelling. *See Illustration # 4.*
- (2) High-pitched gable roofs) between 6:12 and 12:12.
- (3) Hipped roof(s).
- (4) Gambrel roof(s).
- (5) A combination of two or more of the above roofs where the proposed dwelling has multiple distinct roof lines of more than 10 feet (measured from eave to eave) for each roof line.

B) **ELEMENT B. Main Facade Features (at least four features are required).**
See Illustrations # 2, # 3, and # 4 for examples.

Porches and verandas:

- (1) A covered porch (open-walled) that is a minimum of 5 feet deep from the front wall of the dwelling to the enclosing porch rail and running at least 75% of the length of the main facade of the dwelling with an elevated porch floor at least 2 feet off the ground.
- (2) A veranda (covered porch or balcony) a minimum of 5 feet deep from the front wall of the dwelling running along the entire length of the main facade the dwelling.
- (3) A sun room (a room projecting from the main facade of the dwelling at least 8 feet for a length of at least 50% of the length of the main facade and with a separate roofline from the main roof) that contains at least 75% of the front facade surface (measured from 2 feet above the floor of the room to the top of the wall) of the room in windows.
- (4) Covered front entry porch that is a minimum of 5 feet deep from the front wall of the dwelling to the enclosing porch rail and a minimum of 5 feet wide.

- (5) Portico (at least 5 feet deep and with a length of at least 50% of the length of the main facade) with exposed rafters, exposed purlins or decorative brackets.
- (6) Columned porch with balustrade that is a minimum of 5 feet deep from the front wall of the building to the enclosing porch rail and extending at least 75 %of the length of the main facade.
- (7) Projecting porch a minimum of 5 feet deep and 10 feet wide supporting an uncovered second-story balcony (which is accessible from the interior living space of the dwelling) on columns with one or more decorative Eastlake elements such as rows of spindles and knobs, turned columns, lattice wall, circular perforations and cutouts, sunbursts, or curved brackets.
- (8) Projecting porch a minimum of 5 feet deep and 10 feet wide supporting a covered second-story balcony (which is accessible from the interior living space of the dwelling) where the covered second-story balcony contains at least one of the following items:
 - (A) A roof line separate and distinct from the main roof line by an offset of at least 2 feet.
 - (B) A minimum of at least 3 exposed rafters, purlins or decorative brackets.
- (9) A covered porch, veranda, or sunroom with a distinct roof from the main roof (with the same roof materials) projecting at least 5 feet from a side building wall for a length of at least 10 feet along the wall and that begins within 10 feet of the main facade wall.

See Illustration # 3 (bottom illustration).

Roof Details

- (10) Exposed rafters (a minimum of 10 rafter ends) on the main facade.
See Illustration # 3.
- (11) A minimum of 3 exposed purlins on each side of the main roof that is exposed by a gable.
- (12) A minimum of 3 decorative brackets on each side of the main roof that is exposed by a gable. See Illustrations # 3 and # 4.
- (13) Dormer (*see Illustration # 2*) of at least 3 feet in width and 2 feet of depth (at least one point of the dormer must measure 2 feet out from the roof) with one of the following dormer roof types facing the direction of the main facade:
 - a) Gable roof.
 - b) Hipped roof.
 - c) Shed roof.
- (14) A cupola located along the main facade or at the corner of the main facade.

Siding/Chimney Elements

- (15) Horizontal weatherboard or clapboard siding composed of boards with a reveal of 3 to 6 inches, or vinyl or aluminum siding that is in a clapboard or weatherboard pattern where the boards in the pattern are 6 inches or less in width or have an exposure of 6 inches or less.
- (16) Shake, rake shake, cedar shingle, board-and-batten, or siding that simulates that shake or shingle appearance on all exterior walls.
- (17) A belt course (8 inch minimum width) running around the entire building and located along the top of the main floor windows that divides the building into two areas with horizontal/beveled siding below the belt course and shake/shingle siding above the belt course. Where more than one floor is proposed, the belt course may start at the top of the windows on the second floor or anywhere between the top of the main floor windows and the bottom of the second floor windows provided there exists at least 5 feet of wall from the top of the windows to the roof. If 5 feet of wall does not exist, the belt course may run along the base of the second story windows and the top of the main floor windows.
See Illustration # 3.
- (18) A bay window or oriel window extending more than 2 feet from the building wall located along the main facade or at the corner of the main facade.
See Illustration # 5 (top illustration).
- (19) Offset(s) in the building face of a minimum of 16 inches for a minimum of 10 feet on the main facade of the dwelling.
See Illustrations #1 and #2.
- (20) Exterior (from grade to above the roof/eave line) chimney of either cobblestone or rough brick.

SFT Design Standard # 2. Requirements for windows.

- A) Large windows (20 square feet or more) along the main facade shall be bracketed on each side by smaller windows (no more than 20 percent of the large window surface area). The tops and bottoms of the bracketing windows shall be level with the top and bottom of the large window. If the large window is curved or arched on top, the bracketing windows may continue the line of the curve or arch. If the large window contains multiple smaller (4 or more) panes (or has the appearance of multiple panes), the large window may be unbracketed.
See Illustrations # 3 (bottom illustration) and # 5 (bottom illustration).
- B) Windows shall have a minimum of at least 3 inches of trim around the window except for the portion of the window, if any, that is shuttered.
See illustration # 3 (bottom illustration).

SFT Design Standard # 3. Requirements for exterior finish material:

- A) Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each facade.

SFT Design Standard # 4. Requirements for main facade features (Element list B)

- A) Where the main facade feature is required to be covered/roofed, the roofing material of the main facade feature shall be roofed to match (with the same material or a material that in color and appearance matches the main roofing material) the main roofing material if the main facade feature roof is not a flat (no pitch) roof.
- B) Where the building contains an offset in the main facade, main facade feature depth may be measured from the interior main facade wall provided the interior wall length is at least 25% of the total main facade length and the main facade feature extends beyond the exterior main facade wall.

See illustration # 4 for an example.

B. MULTIPLE FAMILY (MF) DWELLINGS:

All multiple family dwellings (greater than 2 dwelling units) subject to design review are required to either meet the design standards (MF DS # 1-5) identified below or to apply for design review under the design guidelines. If the proposed multiple family dwelling is to consist of a series of more than 2 attached row houses or townhouse dwelling units where the proposed units do not share a common roof, the applicant may choose to follow the requirements of the single-family-family design review criteria for each of the proposed units as a substitute for Design Standards #1 (A)-(D) listed below.

Multiple-family (MF) Design Standards:

MF Design Standard # 1. All multiple-family dwellings (greater than 2 dwelling units) subject to design review under the design standards shall contain the following design features:

- A) The continuous horizontal distance as measured from end-wall to end-wall of individual buildings shall be less than 65 feet. Where multiple detached buildings are proposed, each building shall be separated by a minimum of 10 feet of landscaped area.
- B) The main front facade elevation of the building shall be divided into smaller areas or planes.

See Illustration # 5 (top two illustrations) and Illustration # 6.

When the front facade elevation is more than 500 square feet in area, the elevation must be divided into distinct planes of 500 square feet or less. For the purpose of this standard, areas of walls that are entirely separated from other wall areas by a

projection, such as the porch or a roof over a porch, are also individual building wall planes. This division can be done by:

- (1) A porch on the ground floor that is at least 4 feet wide or a balcony on a second floor that is at least 2 feet deep and is accessible from an interior room;
 - (2) A bay window or oriel window that extends at least 2 feet;
 - (3) Recessing a section of the facade by at least 2 feet for a length of at least 6 feet; and/or
 - (4) Projecting a section of the facade by at least 2 feet for a length of at least 6 feet.
- C) The roof of the primary structure that is either a gable roof with a slope of 5:12 to 12:12 or a hipped roof. Where the structure contains a roof width of more than 50 feet along the main facade, the roof shall be broken up into 25 foot or greater increments by dividing the roof frontage by 25 and creating approximately even increments (*i.e.* 80/25 = 3 increments of approximately 26 feet). Each roof increment shall incorporate an offset on each roof increment from the following list.

See Illustration #5 (top two illustrations) and #6 (bottom illustration).

Where an applicable roof offset can be combined with a front facade offset (as identified in (B) above) in one feature, the property owner is allowed to do so.

- (1) Cross gable with eaves overhanging on the front facade side.
 - (2) A roof offset of at least 2 feet.
 - (3) Distinct gable or hip roof for each increment
- D) Main entrance. For the purposes of this section, a main entrance is an entrance from outside the building that provides access to two or more dwelling units or to a dwelling unit and a common area.
- (1) The location of a main entrance for each primary building must face the street. On corner lots the main entrance may face either of the streets or be oriented to the corner. If the building is designed with multiple main entrances, only one of the main entrances must meet this requirement.
 - (2) A front porch is required at all of the main entrances that face a street. If the porch projects out from the building, it must have a roof. If the roof of a required porch is developed as a deck or balcony, it may be flat. The covered area provided by the porch must be at least 63 square feet and a minimum of 9 feet wide.
 - (3) For attached individual houses/dwelling units, a covered balcony

on the same facade as the main entrance may be provided instead of a front porch. The covered portion of the balcony must be at least 48 square feet and a minimum of 8 feet wide. The floor of the covered balcony must be no more than 15 feet above grade, and must be accessible from the interior living space of the house.

- E) All street-facing elevations must have landscaping along their foundation. The landscaped area may be along the outer edge of a porch instead of the foundation. The landscaping provided in this section shall be counted as part of the landscaping required by Chapter 14.19 of the Newport Municipal Code (No. 1308, as amended). This landscaping requirement does not apply to portions of the building facade that provide access for pedestrians or vehicles to the building. The foundation landscaping must meet the following standards:
- (1) The landscaped area must be at least 5 feet wide;
 - (2) There must be at least one three-gallon shrub for every 3 lineal feet of foundation; and
 - (3) A tree of at least 6 foot in height must be planted in the landscaped area for every 25 feet lineal feet of foundation.

See Illustration # 6.

- F) The parking lot shall be located to the rear of the building's main facade.

See Illustration # 6.

An interior parking structure on a ground floor or lower floor can be utilized for off-street parking provided the access for the interior parking structure is from the side or rear of the building's main facade.

- G) Accessory structures such as storage buildings and garages shall be sided and roofed the same as the main structure. Roofs shall be a minimum of a 3:12 pitch with 12 inch eaves. No accessory structure located within 10 feet of a public right-of-way shall have a solid blank wall of more than 15 feet in length without providing for window(s) with a minimum of 10 square feet in area for every 15 feet in structure length located on the facade facing the public right-of-way.
- H) Recycling and trash collection areas if not located within the main building shall be located in an accessory structure or shall be screened by a sight- obscuring wood fence or evergreen hedge of at least 6 feet in height on at least 3 sides and all sides facing a public right-of-way.
- I) All permanent area lights including parking area lighting shall be full cut-off fixtures. Permanent exterior lights and landscaping lighting

shall be recessed or shielded so that no light source is visible from a public right-of-way or adjacent property.

- J) Mechanical equipment located on a roof shall be screened.

MF Design Standard # 2: Requirements for massing.

- A) Buildings greater than 2 stories, and/or longer than forty feet (40') shall include two or more of the following elements to break down the scale of the building:
 - (1) a significant offset (3' minimum depth, 8' minimum width) in the full building massing (*Illustration # 10*)
 - (2) a step-back (6' minimum) of floors above the second floor;
 - (3) subdivision into a series of distinct building masses, articulated as separate structures;
 - (4) multiple ground floor entries at 30' maximum spacing.

MF Design Standard #3. Requirements for windows on all multiple family buildings and accessory buildings with windows or requiring windows:

- A) Large windows (20 square feet or more) along the main facade shall be bracketed on each side by smaller windows (no more than 20 percent of the large window surface area). The tops and bottoms of the bracketing windows shall be level with the top and bottom of the large window. If the large window is curved or arched on top, the bracketing windows may continue the line of the curve or arch. If the large window contains multiple smaller (4 or more) panes (or has the appearance of multiple panes), the large window may be unbracketed.

See Illustrations # 3 (bottom illustration) and #5 (bottom illustration).

- B) Windows shall have a minimum of at least 3 inches of trim around the window except for the portion of the window, if any, that is shuttered.

See Illustration # 3 (bottom illustration).

MF Design Standard #4. Requirements for exterior finish material on all multiple-family buildings:

- A) Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each facade.

MF Design Standard # 5. Requirements for main facade feature on all multiple family dwellings:

- A) Where the main facade feature is required to be covered/roofed, the roofing material of the main facade feature shall be roofed to match the main roofing material with the same material or a material that in color and appearance matches the main roofing material if the main facade feature roof is not a flat (no pitch) roof.
- B) Where the building contains an offset in the main facade, main facade feature depth may be measured from the interior main facade wall provided the interior wall length is at least 25% of the total main facade length and the main facade feature extends beyond the exterior main facade wall.

See Illustration # 4 for an example.

C. COMMERCIAL (C) AND PUBLIC/INSTITUTIONAL (P/I) BUILDINGS:

All principle commercial and public/institutional buildings subject to design review are required to either meet the design standards (CPI DS #1-5 as applicable) identified below or to apply for design review under the design guidelines.

Commercial and Public/Institutional (CPI) Design standards.

Commercial and public/institutional buildings shall meet the following standards:

CPI Design Standard # 1. Requirements for commercial and public/institutional uses excluding hotel/motel uses:

- A) For the purpose of applying for design review under the design standards, the proposed building shall be no taller than 35 feet in height. Buildings taller than 35 feet in height must apply for design review under the design guidelines.
- B) For the purpose of applying for design review under the design standards, the proposed building shall have less than 65 feet of building footprint along the frontage street. Buildings with a footprint of 65 feet or more along the frontage street must apply for design review under the design guidelines.
- C) The proposed building meets the requirements of the Single-family and Two-family Design Standards including one of Element A (Roofs) and three of Element B (Main Facade Features), with the following additional requirement: for buildings with a street frontage of forty feet (40') or longer, porches or verandas fulfilling the Main Facade Features requirement shall have a minimum depth of eight feet (8'). Buildings may also choose from the following additional elements in meeting the Element B (Main Facade Feature) requirement:
 - (1) A canopy of at least 3 feet in depth running along a minimum of 75% of the entire main facade of the building between 8 feet and 12 feet above grade.
- D) Required off street parking is provided at the rear of the building, on one side of the building only (with the parking lot beginning no closer to the street than the front facade of the building), at a shared parking lot located within 200 feet of the building, or participation in the payment in lieu of parking program or a Council approved parking district.

- E) All permanent area lights including parking area lighting shall be full cut-off fixtures. Permanent exterior lights and landscaping lighting shall be recessed or shielded so that no light source is visible from a public right-of-way or adjacent property.
- F) Where the building has frontage on more than one public right-of-way, the second facade shall also contain a design feature of Element B (Main Facade Features) of the Single-family and Two-family Design Standards.
- G) For buildings greater than 2 stories, and/or longer than forty feet (40') shall include two or more of the following elements to break down the scale of the building:
 - (1) a significant offset (3' minimum depth, 8' minimum width) in the full building massing (*Illustration # 10*)
 - (2) a step-back (6' minimum) of floors above the second floor;
 - (3) subdivision into a series of distinct building masses, articulated as separate structures;
 - (4) multiple ground floor entries at 30' maximum spacing.

CPI Design Standard # 2. Requirements for hotel and motel commercial uses:

- A) For the purpose of applying for design review under the design standards, the proposed building(s) shall be no taller than 35 feet in height. Buildings taller than 35 feet in height must apply for design review under the design guidelines.
- B) The building (s) shall meet the multiple family design standards 1(A) - 1(J).
- C) If a separate building is proposed for an office and/or management dwelling unit, the building shall either meet 1) the requirements of (A) and (B) above as applicable or, 2) if the footprint is less than 1000 square feet, the requirements of the Single-family and Two Family Design Requirements.
- D) Required off street parking is provided at the rear of the building, on one side of the building only (with the parking lot beginning no closer to the street than the front facade of the building), or at a shared parking lot located within 200 feet of the building, or a Council approved parking district.
- E) For buildings greater than 2 stories, and/or longer than forty feet (40') shall include two or more of the following elements to break down the scale of the building:
 - (1) a significant offset (3' minimum depth, 8' minimum width) in the full building massing (*Illustration # 10*)
 - (2) a step-back (6' minimum) of floors above the second floor;
 - (3) subdivision into a series of distinct building masses, articulated as separate structures;
 - (4) multiple ground floor entries at 30' maximum spacing.

CPI Design Standard #3.

Requirements for entries and windows on all commercial and public/institutional buildings:

- A) The location of a main entrance for each primary building must face the street. On corner lots the main entrance may face either of the streets or be oriented to the corner. If the building is designed with multiple main entrances, only one of the main entrances must meet this requirement.
- B) Large windows (20 square feet or more) along the main facade shall be bracketed on each side by smaller windows (no more than 20 percent of the large window surface area). The tops and bottoms of the bracketing windows shall be level with the top and bottom of the large window. If the large window is curved or arched on top, the bracketing windows may continue the line of the curve or arch. If the large window contains multiple smaller (4 or more) panes (or has the appearance of multiple panes), the large window may be unbracketed. *See Illustration # 7.*
- C) Windows shall have a minimum of at least 3 inches of trim around the window except for the portion of the window, if any, that is shuttered. No windows on a ground floor level may be mirrored or reflective windows.

CPI Design Standard #4. Requirements for exterior finish material on all commercial and public/institutional buildings: For the purposes of this Standard, the percentage of material coverage shall be calculated after excluding door, windows and louvers for mechanical equipment and ventilation.

- A) The following materials shall be the primary exterior finishes in the district, comprising a minimum of 70% of the exterior skin. Other materials are allowed as accents and contrasting surfaces, consistent with requirement B of this section.
 - Wooden shingles, with a six inch (6") exposure
 - Lap siding in wood or composite wood materials
- B) Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each facade

CPI Design Standard #5. Requirements for main facade features:

- A. Where the main facade feature is required to be covered/roofed, the roofing material of the main facade feature shall be roofed to match (with the same material or a material that in color and appearance matches the main roofing material) the main roofing material if the roof is not a flat (no pitch) roof. The requirement to match roofing material does not apply if the roof is a flat (no pitch) roof or the roof is screened from view by a parapet wall.
- B. Where the building contains an offset in the main facade, main facade feature depth may be measured from the interior main facade wall provided the interior wall length is at least 25% of the total main facade length and the main facade feature extends beyond the exterior main facade. *See Illustration # 4 for an example.*

D. ACCESSORY STRUCTURES (AS):

Accessory structures for which the design standards (AS DS # 1-3 as applicable) apply and the design standards are not elsewhere specified, must meet the following design standards or apply for design review under the design guidelines:

Accessory Structure (AS) Design Standards:

AS Design Standard #1. Roofs of accessory structures must be either

- A) Gable with a minimum of 3:12 pitch.
- B) Hip, or
- D) Gambrel.

AS Design Standard #2. Requirements for exterior finish materials on all accessory Structure facades:

- A) Plain concrete block, plain concrete, corrugated metal, plywood and sheet pressboard are not allowed as exterior finish material, except as secondary finishes if they cover no more than 10 percent of the surface area of each facade. Composite boards manufactured from wood or other products, such as hardboard or hardiplank, may be used when the board product is 6 inches or less in width or has an exposure (reveal) of 6 inches or less.
- B) Where horizontal siding is used, it must be shiplap or clapboard siding composed of boards with a reveal of 3 to 6 inches, or vinyl or aluminum siding which is in a clapboard or shiplap pattern where the boards in the pattern are 6 inches or less in width.

AS Design Standard #3.

Where a proposed accessory structure is also proposed to be a dwelling unit, the structure must contain two design feature on the main facade from Element B (Main facade Features) of the Single-family Residential list above.

For the purposes of this section, the main facade of an accessory structure dwelling unit is the facade that is the same direction as the main facade of the principle building. In the case of a lot with frontage on more than one public right-of-way, an accessory structure dwelling unit located within 20 feet of a public right-of-way shall have the building wall closest to the right-of-way as the main facade.

If more than one main facade is possible because the property is bounded by multiple rights-of-way, the property owner shall pick the main facade from among the possible choices.

Newport Design Review Glossary and Illustrations

Many of the architectural illustrations adapted from the City of Eugene Planning and Development Historic Preservation Program and from other sources.

Architectural & Design Review Terms

Arch. A construction technique and structural member, usually (curved and made of masonry. Composed of individual wedge-shaped members that span an opening and support the weight above by resolving vertical pressure into horizontal or diagonal thrust.



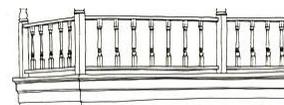
Arch

Architrave. The lowest part of an entablature, or the molded frame above a door or window opening.

Balcony. A platform projecting from the wall or window of a building, usually enclosed by a railing.

Baluster. Any of the small posts that support the upper rail of a railing, as in a staircase.

Balustrade. An entire railing system including a top rail and its balusters, and sometimes a bottom rail.



Balustrade

Bargeboard. See "vergeboard" definition.

Bay window. A projecting bay with windows that forms an extension to the interior floor space. On the outside, the bay should extend to ground level contrast to an oriel window, which projects from the wall plane above ground level.



Bay Window



Oriel Window

Belt course. A horizontal ornamentation that often provided a division between siding styles. See *Illustration# 3*.

Board-and-batten siding. Vertical siding made up of alternating wide and thin boards (other than plywood or pressboard) where the thin boards cover the joints between the wide boards.

Bracket. A small projection, usually carved or decorated, that supports or appears to support a projecting eave or lintel.



Bracket

Capital. The topmost member, usually decorated, of a column or pilaster.

Casement window. A window that is hinged on the side and opens in or out.

Chimney pot. A decorative masonry element placed at the top of a chimney, common on Queen Anne and Tudor Revival buildings.

Clapboards. Narrow, horizontal, overlapping wooden boards that form the outer skin of the walls of many wood-frame houses. In older houses, the exposure (the exposed area of each board not overlapped by another board) ranges from four to six inches.

Column. A vertical shaft or pillar usually circular in section that supports, or appears to support, a capital, load beam or architrave.

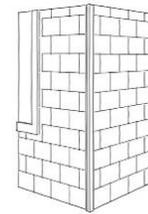
Corbel. A projection from a masonry wall, sometimes supporting a load and sometimes for decorative effect.



Corbel

Corbeled cap. The termination of a brick chimney that projects outward in one or more courses.

Corner board. A board which is used as trim on the external corner of a wood-frame structure and against which the ends of the siding are fitted.



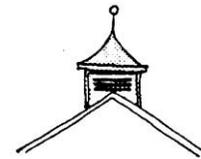
Corner board

Cornice. The exterior trim of a structure at the meeting of the roof and wall; usually consists of bed molding, soffit, fascia, and crown molding. See *Illustration# 8 (top illustration)*.

Course. In masonry, a layer of bricks or stones running horizontally in a wall. See also "belt course."

Cresting. Decorative grillework or trim applied to the ridge crest of a roof. Common on Queen Anne style buildings.

Cross gable. A gable that is perpendicular to the main axis or ridge of a roof.



Cupola

Cupola. A small, sometimes domed structure surmounting a roof. Found mainly on Italianate and Colonial Revival buildings.

Dentil molding. A molding composed of small rectangular blocks run in a row.

Dormer. A structure containing a vertical window (or windows) that projects through a pitched roof.

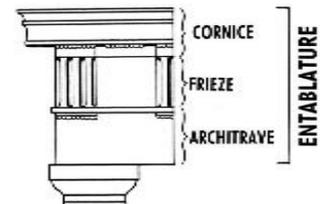


Dormer

Double-hung sash window. A window with two or more sashes; it can be opened by sliding the bottom portion up or the top portion down, and is usually weighted within the frame to make lifting easier.

Eave. The part of the roof that overhangs the wall of a building.

Entablature. Above columns and pilasters, a three-part horizontal section of a classical order, consisting of the cornice at the top, the frieze in the middle, and the architrave on the bottom.



Facade. The face or front of a building. See *Illustration # 1*.

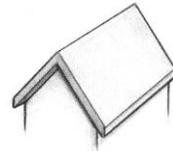
Fanlight. A window, often semicircular, over a door, with radiating muntins suggesting a fan.

Fascia board. A flat board horizontally located at the top of an exterior wall, directly under the eaves.

French door. Two doors, composed of small panes of glass set within rectangularly arrayed muntins, mounted within the two individual frames. Usually such doors open onto an outside terrace or porch.

Frieze. The middle division of an entablature, below the cornice.

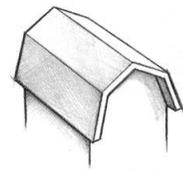
Gable. The vertical triangular portion of the end of a building having a double-sloping roof, usually with the base of the triangle sitting at the level of the eaves, and the apex at the ridge of the roof. The term sometimes refers to the entire end wall. See Illustration # 2.



Gable Roof

Gable roof. A roof form having an inverted "V"-shaped roof at one or both ends.

Gambrel roof. A roof having two pitches on each side, typical of Dutch Colonial and Colonial Revival architecture.



Gambrel Roof

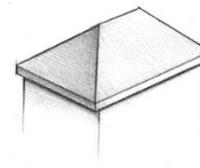
Gingerbread. Highly decorative woodwork with cut out ornament, made with a jigsaw or scroll saw, prominent in Gothic Revival architecture. Gingerbread in the Gothic Revival style can be distinguished from the ornamentation in the Stick and Eastlake styles which featured characteristically curved brackets and rows of spindles and knobs thicker than the gingerbread woodwork and were created with the lathe, the chisel, and the gouge.

Half-timbering. In late medieval architecture, a type of construction in which the heavy timber framework is exposed, and the spaces between the timbers are filled with wattle-and daub, plaster, or brickwork. The effect of half timbering was imitated in Oregon in the 19th and 20th centuries by the Queen-Anne and Tudor Revival styles.



Hipped (hip) roof. A roof which slopes upward on all four sides.

Hood molding. A decorative molding over a window or door frame, commonly found on Italianate style buildings such as the Smeede Hotel in Eugene.



Hip Roof

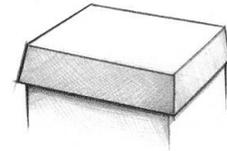
Jerkinhead roof. A gable roof truncated or clipped at the apex - also called a clipped gable roof. Common in Bungalows and Tudor Revival, and Arts and Crafts style buildings.

Latticework. A wood or metal screen composed of interlaces or crossed thin strips.

Leaded glass. Small panes of glass, either clear or colored, that are held in place by strips of lead.

Lintel. A horizontal beam over an opening in a wall that carries the weight of the structure above.

Mansard roof. A roof with two slopes, the lower slope being nearly vertical, often concave or convex in profile. Common to the Italianate and Queen Anne styles.



Mansard Roof

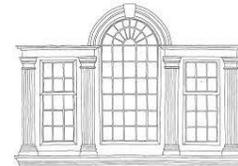
Molding. A decorative band or strip with a constant profile or section generally used in cornices and as a trim around window and door openings. It provides a contoured transition from one surface to another or produces a rectangular or curved profile to a flat surface.

Mullion. The vertical member of a window or door that divides and supports panes or panels in a series.

Muntin. One of the members, vertical or horizontal, that divides and supports the panes of glass in a window.

Oriel window. A window bay that projects from the building beginning above the ground level. See “bay window” definition for illustration.

Palladian window. A window divided into three parts: a large arched central window, flanked by two smaller rectangular windows. These are found in Colonial Revival as well as Italianate buildings.

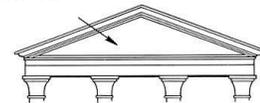


Palladian Window

Parapet. A wall that extends above the roof line. Common in California Mission style buildings. See Illustration # 7.

Pediment. A low triangular gable end, often found in classical architecture.

Pediment



Pent roof. A small, sloping roof, the upper end of which butts against a wall of a house, usually above the first-floor windows.

Pilaster. An engaged pier or pillar, often with capital and base.

Pillar. A post or column-like support.

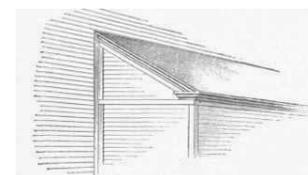
Pitch. The degree of slope or inclination of a roof.

Plywood. A structural material consisting of sheets of wood glued or cemented together with the grains of adjacent layers arranged at right angles or at a wide angle.

Pointed arch. Any arch with a point at its apex, common but not restricted to Gothic architecture. Tudor Revival buildings also frequently incorporate pointed arch motifs.

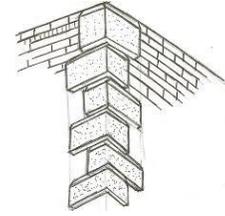
Portico. A porch or covered walkway consisting of a roof supported by columns.

Pressboard. A strong highly glazed composition board resembling vulcanized fiber.



Pent (Shed) Roof

Quoins. Cornerstones of a building, rising the entire height of the wall, and distinguished from the main construction material by size, texture, or conspicuous joining. In masonry construction, they reinforce the corners; in wood construction, they do not bear any load, are made of wood, and imitate the effect of stone or brick.



Quoins

Rafters. The sloping wooden roof-frame members that extend from the ridge to the eaves and establish the pitch of the roof. In Craftsman and Bungalow style buildings the ends of these, called "rafter tails" are often left exposed rather than boxed in by a soffit. See "truss" for illustration.

Ribbon window. A continuous horizontal row, or band, of windows separated only by mullions. Used to some extent in Craftsman designs, but more common in Eugene on post-war modern buildings.

Round arch. A semicircular arch, often called a Roman arch.

Rustication. Masonry characterized by smooth or roughly textured block faces and strongly emphasized recessed joints.

Sash. Window framework that may be fixed or moveable. If moveable, it may slide, as in a double-hung window; or it may pivot, as in a casement window.

<p>6/6 6 over 6 sash is common in older buildings. In the old days, big pieces of glass were expensive, so windows were made from lots of smaller pieces.</p>	<p>9/6 9 over 6 is also common in older buildings for the same reasons.</p>	<p>4/4 These windows became more common after the Civil War.</p>	<p>3/2 This type of window is seen a lot in modern buildings.</p>	<p>3/1 This style was a popular feature on Bungalow homes.</p>	<p>4/1 This style was also a popular feature on Bungalow homes.</p>	<p>1/1 This window is very common on modern buildings.</p>

Shiplap siding. Wooden siding tapered along its upper edge where it is overlapped by the next higher courses of siding.

Side light. A framed window on either side of a door or window.

Siding. The narrow horizontal or vertical wooden boards that form the outer face of the walls in a traditional wood-frame building. Horizontal wooden siding types include shiplap and clapboard/weatherboard, while board-and-batten is the primary type of vertical siding. Shingles, whether of wood or composite material, are another siding type.

Sill. The lowest horizontal member in a frame or opening of a window or door. Also, the lowest horizontal member in a framed wall or partition.

Skirting. Siding or latticework applied below the watertable molding on a building.

Soffit. The underside of the eaves on a building, particularly the boards enclosing the eaves and covering rafter tails.

Stucco. A material, usually composed of cement, sand, and lime, applied to a surface to form a hard, uniform covering that may be either smooth or textured. Also, a fine plaster used in decoration and ornamentation of interior walls.

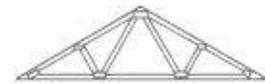
Surround. The molded trim around a door or window.

Swan's neck pediment. A pediment with an open apex; each side terminates in curves resembling a swan's neck. Found in Oregon mainly on Colonial Revival buildings.

Terra cotta. A red-brown fired but unglazed clay used for roof tiles and decorative wall covering. These roof tiles are common in California Mission style. Glazed terra cotta was frequently used for exterior decoration on commercial buildings of the early 20th Century.

Transom. Horizontal window opening above a door or window.

Truss. A framework of beams (like ribs) that support the roof (usually triangular).



Truss

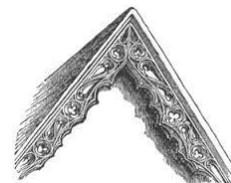
Tongue and groove. A type of board milled to create a recessed groove along one long side and a corresponding flange along the other that lock together when two or more boards are placed side-by-side. Tongue and groove boards were commonly used for flooring and siding.

Tudor arch. A four centered pointed arch, characteristic of Tudor style architecture in England in the 15th and 16th centuries.

Turret. A small, slender tower, usually corbeled from a corner of a building

Veranda. A covered porch or balcony, running alongside a house; the roof is often supported by columns.

Vergeboard. An ornamental board, sometimes jigsaw cut that serves as trim and is attached to the overhanging eaves of a gable roof; sometimes called a bargeboard.

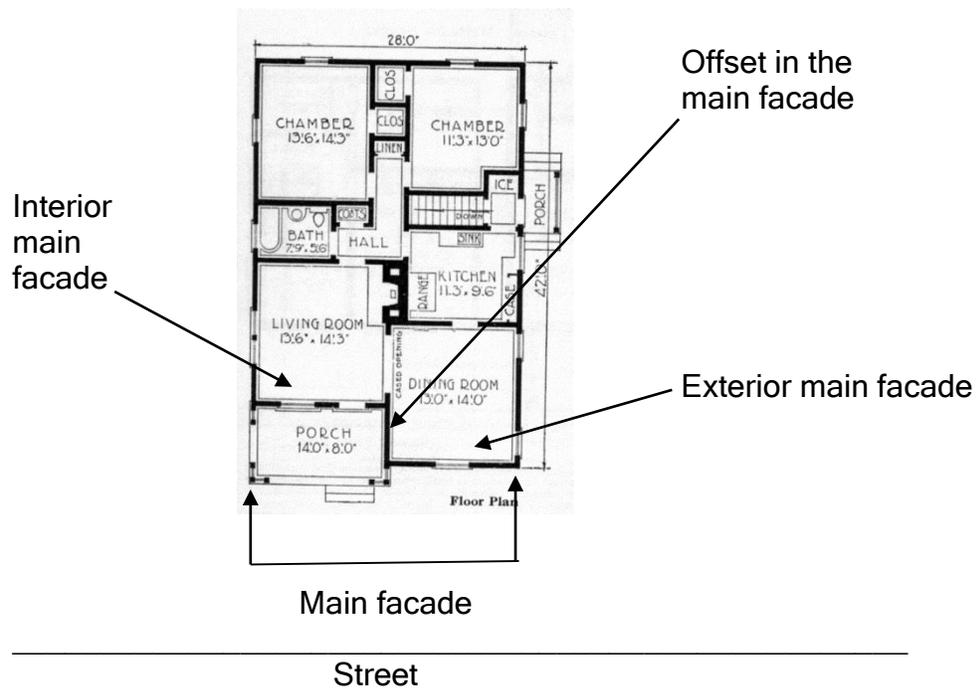


Vergeboard

Water table. A projecting ledge, molding, or string course along the bottom side of a building, designed to throw off rainwater; it usually divides the foundation of a building from the first floor.

Weatherboard siding. Siding, usually wooden, consisting of overlapping, narrow boards usually thicker at one edge; also called clapboard siding.

ILLUSTRATION # 1
MAIN FACADE



The facade is the face or front of the building. The main facade is the building front that faces the street. The main facade includes the building between the two main outer walls. Where the main facade is divided into sections by an offset in the building, the wall of the main facade most distant from the street shall be considered the interior main facade wall. The main facade wall closest to the street shall be considered the exterior main facade wall. Required depth of main facade features such as porches shall be maintained for each portion of the main facade (including interior and exterior main facade walls) from which the feature projects (not including the offset wall). Where the building fronts on more than two streets, unless specified elsewhere to the contrary, the property owner shall pick one of the facades to be the main facade.

ILLUSTRATION # 2
ROOF AND DORMER TYPES



Side gabled roof
with front gabled roof dormer



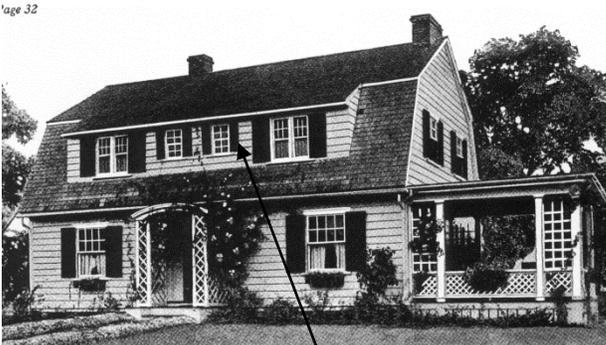
Front gabled roof
with hip roofed porch



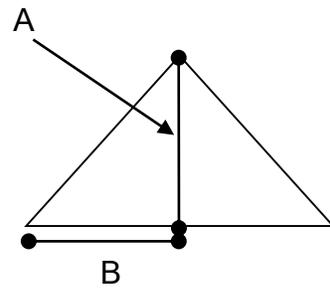
Multiple distinct low pitched gabled roofs
(with clipped gables/jerkinhead roof)



Hip roof
with hip roof dormer

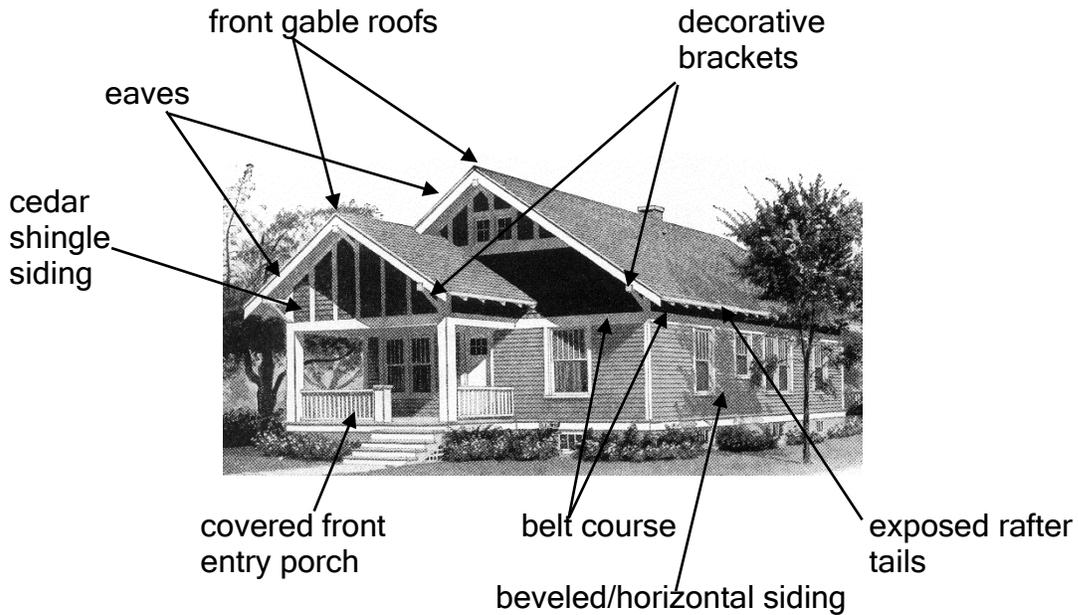


Gambrel roof
with shed roof dormer



Roof slope is measured by
ratio from vertical (A) to
horizontal (B).

ILLUSTRATION # 3
VARIOUS EXAMPLES OF FEATURES



The house above illustrates a main gable roof with eaves and with a distinct gable roof above the front entry porch located on the main facade of the building. The belt course (white line that wraps around the house at the top of the windows) separates the contrasting siding with the beveled siding below and the cedar shingle siding above. The exposed rafter tails (the ends of the rafters under the eaves) and the decorative brackets are visible on both the main gable roof and the porch gable.

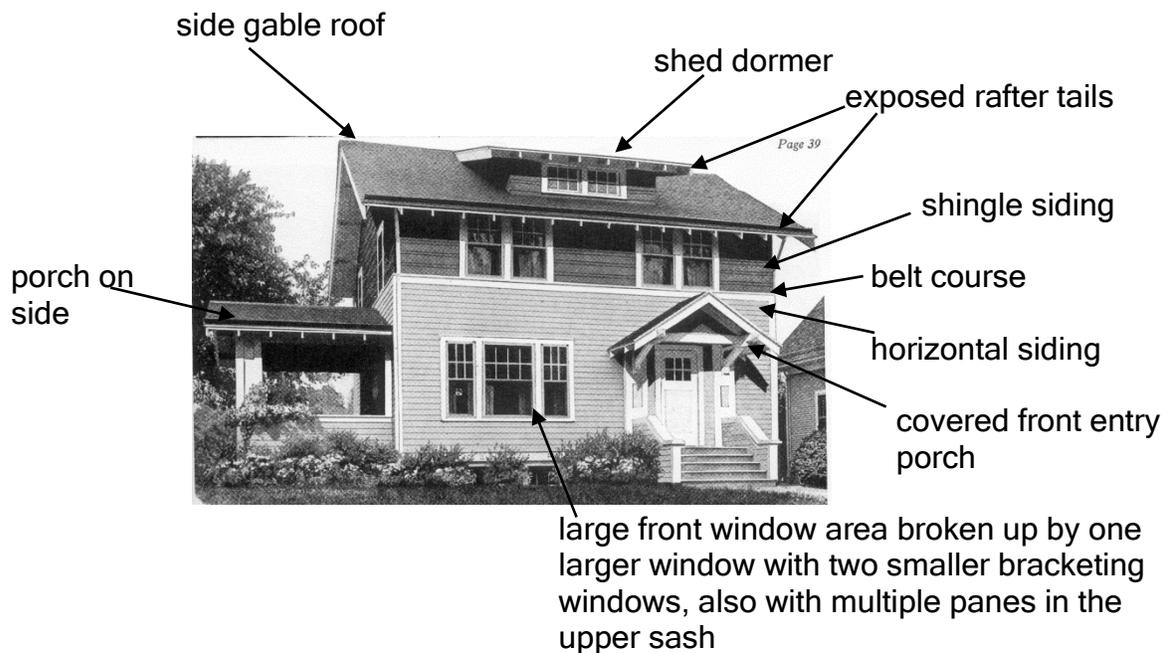
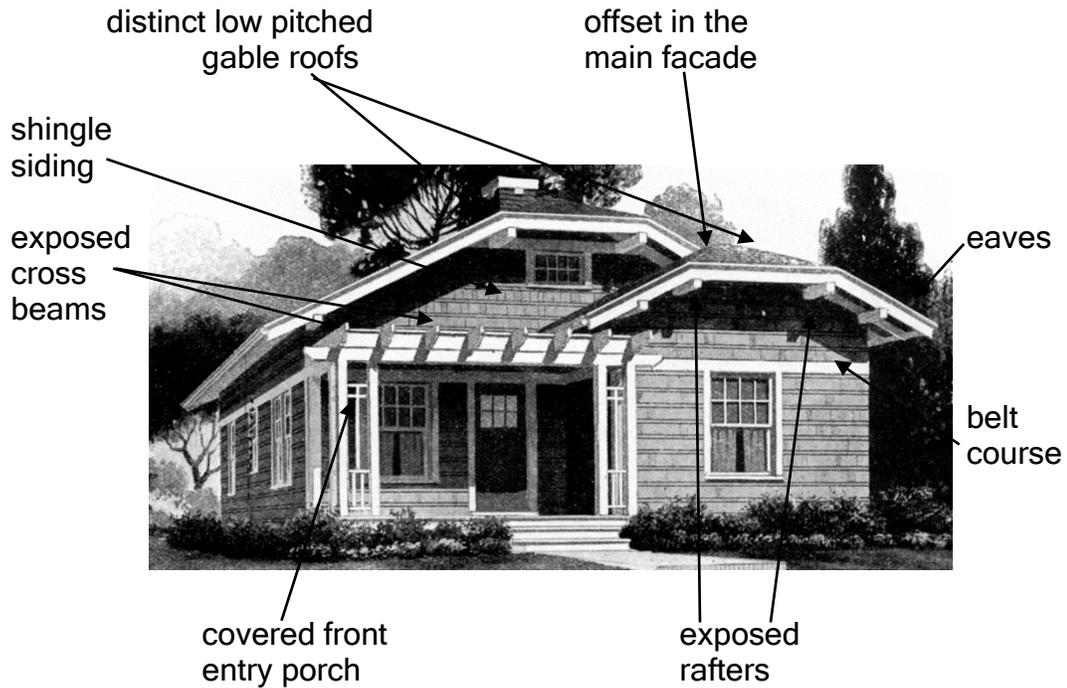
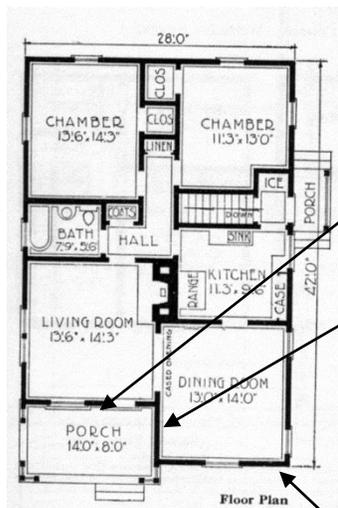


ILLUSTRATION # 4
VARIOUS EXAMPLES OF FEATURES



The house above illustrates a low pitched main gable roof with a distinct low pitched gable roof that extends over the portion of the building that extends out adjacent to the covered front entry porch. An offset in the main facade is created with the 6 foot extension of the building. The covered entry porch is located adjacent to the extension of the main building but is set a couple of feet forward of the building wall and features a flat roof with exposed cross beams. Exposed rafters/cross beams, a belt course, and shingle siding are other decorative features.



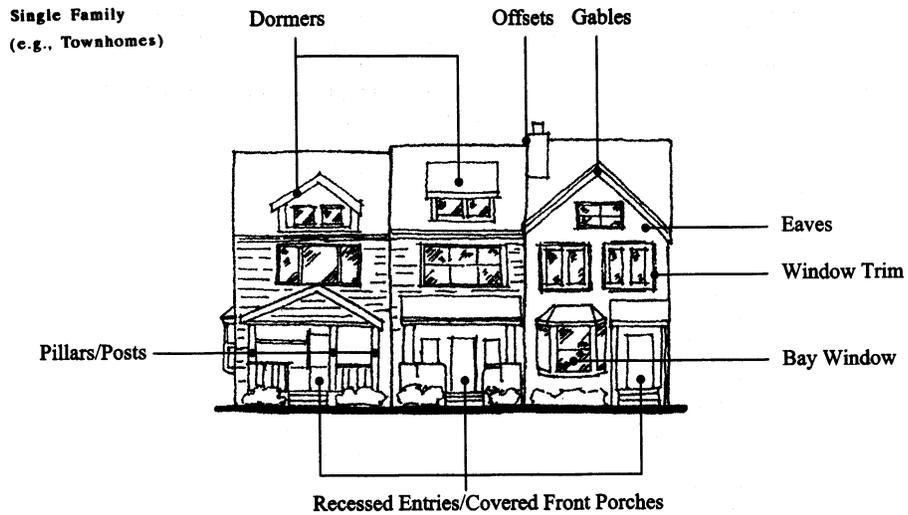
Interior main facade wall.

Offset of about 5 feet in building face and extending 14 feet. Where the building contains an offset in the main facade, the porch depth may be measured from the interior main facade wall provided the interior wall length is at least 25% of the total main facade length and the porch extends beyond the exterior main facade wall.

Exterior main facade wall.

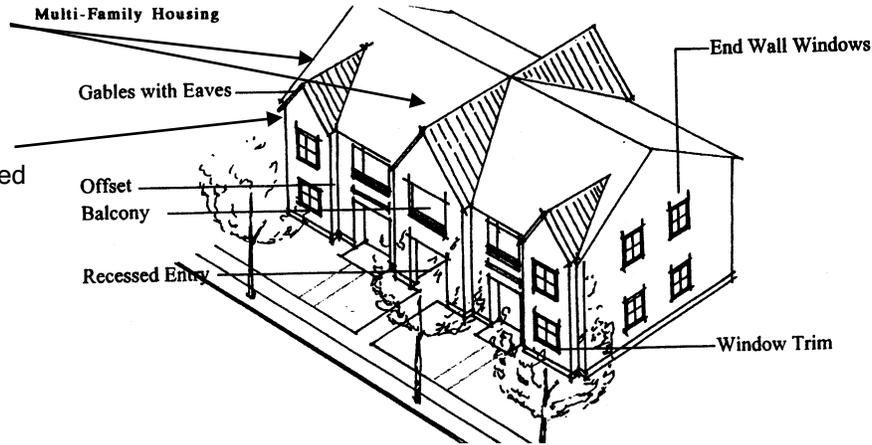
ILLUSTRATION # 5

SINGLE FAMILY (TOWNHOUSE) AND MULTIPLE FAMILY DWELLINGS



Roof width divided into increments with cross gables.

Main front facade divided into distinct planes.



Duplex / Two family dwelling

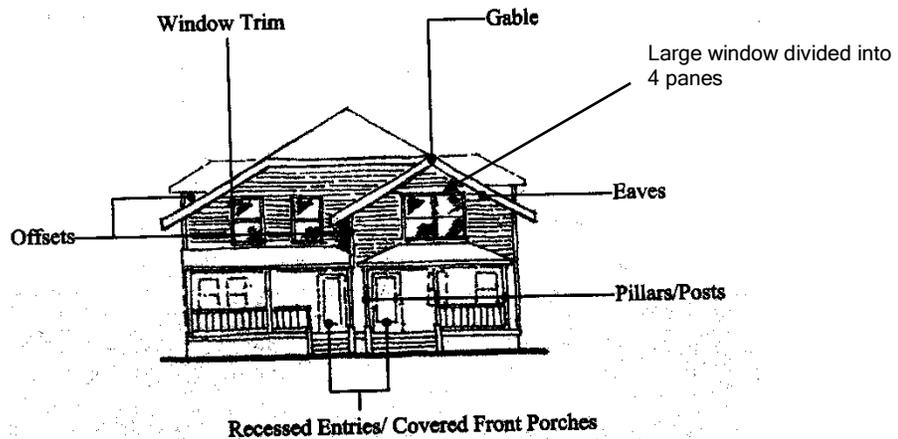


ILLUSTRATION # 6
LARGE MULTIPLE FAMILY RESIDENTIAL OR HOTEL DEVELOPMENT

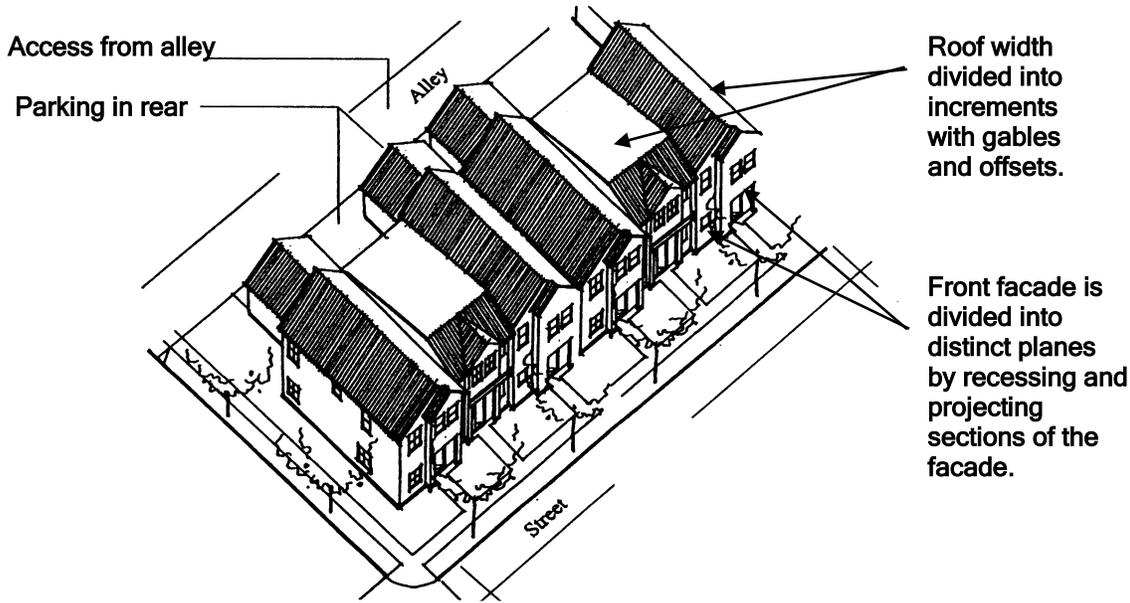
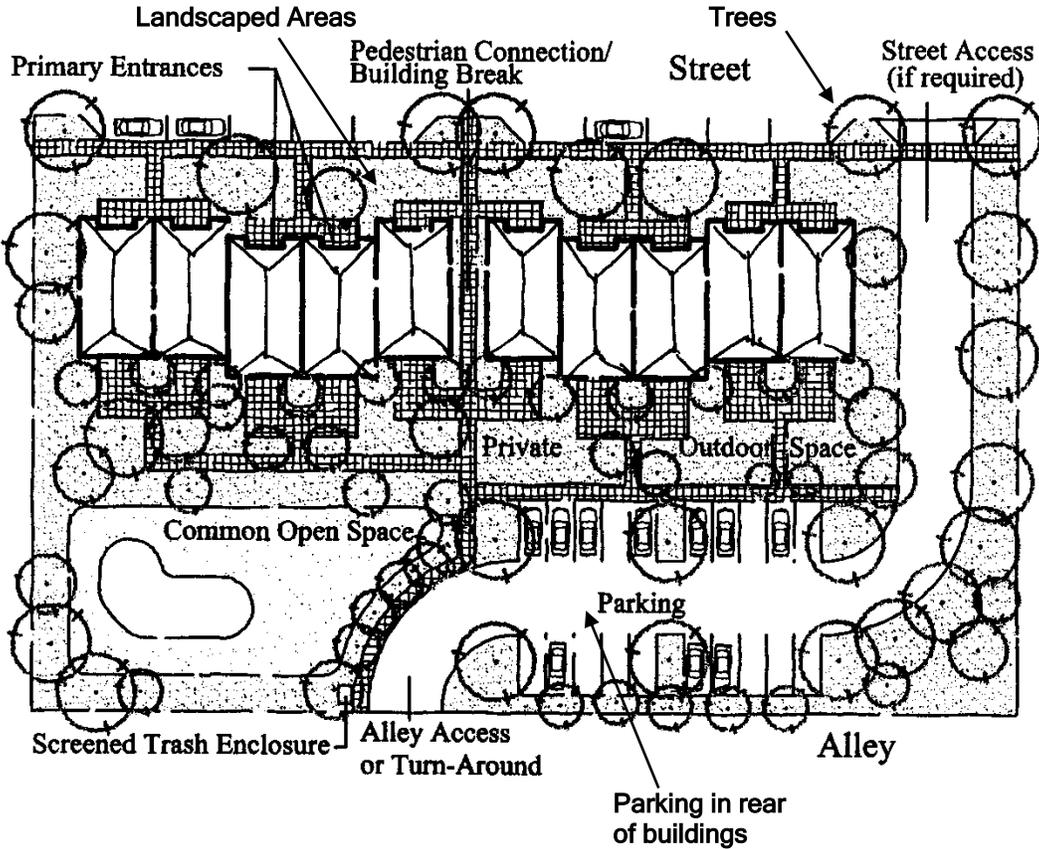
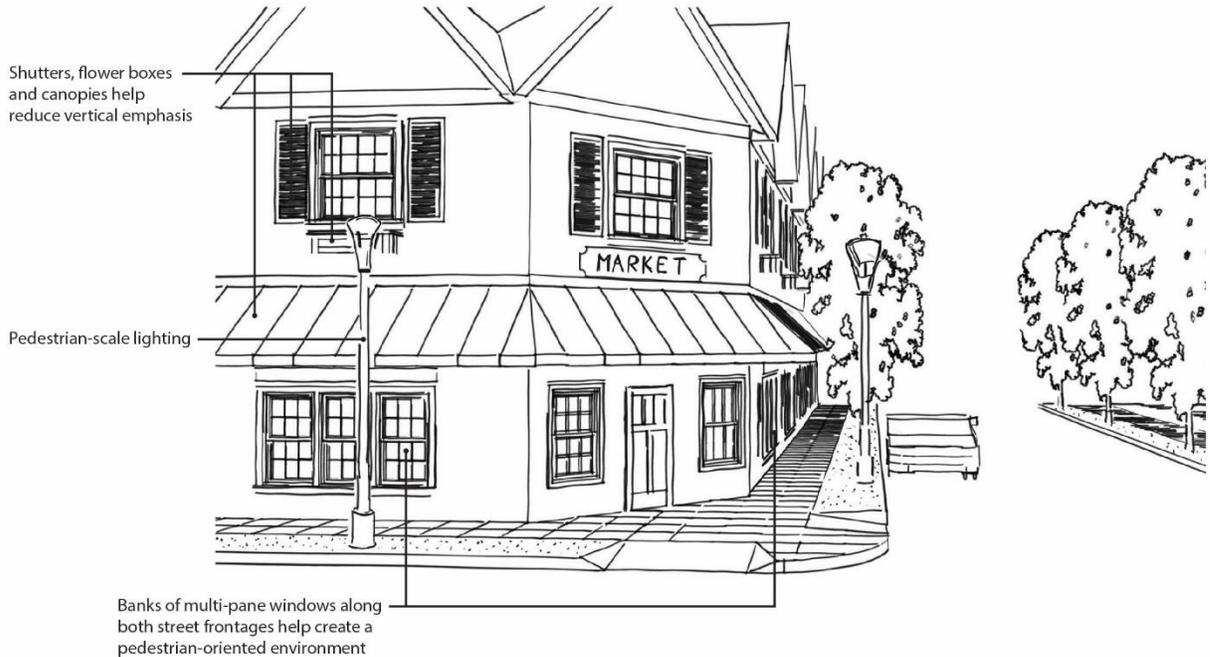


ILLUSTRATION # 7 COMMERCIAL BUILDINGS

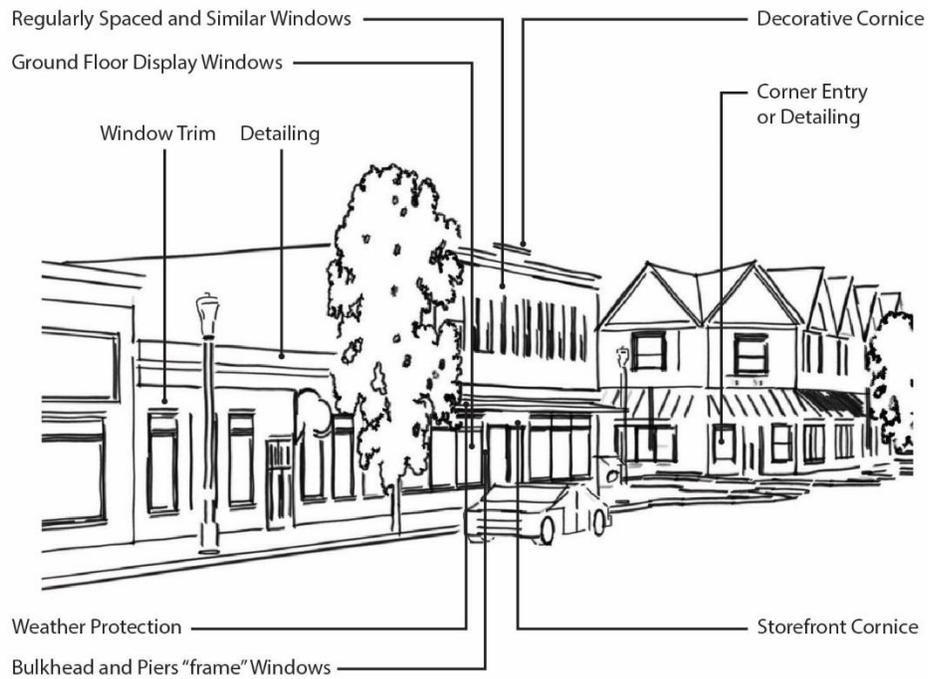


In the illustration above, banks of windows along the ground floor help create a pedestrian oriented environment. Buildings abut the property line such that no building is setback significantly from the other buildings. Buildings vary in size, shape, roof lines and design features but are architecturally compatible through the use of similar design elements such as the use and placement of a common window treatment on the second floor.



Banks of multi-pane windows along both street frontages help create a pedestrian-oriented environment.

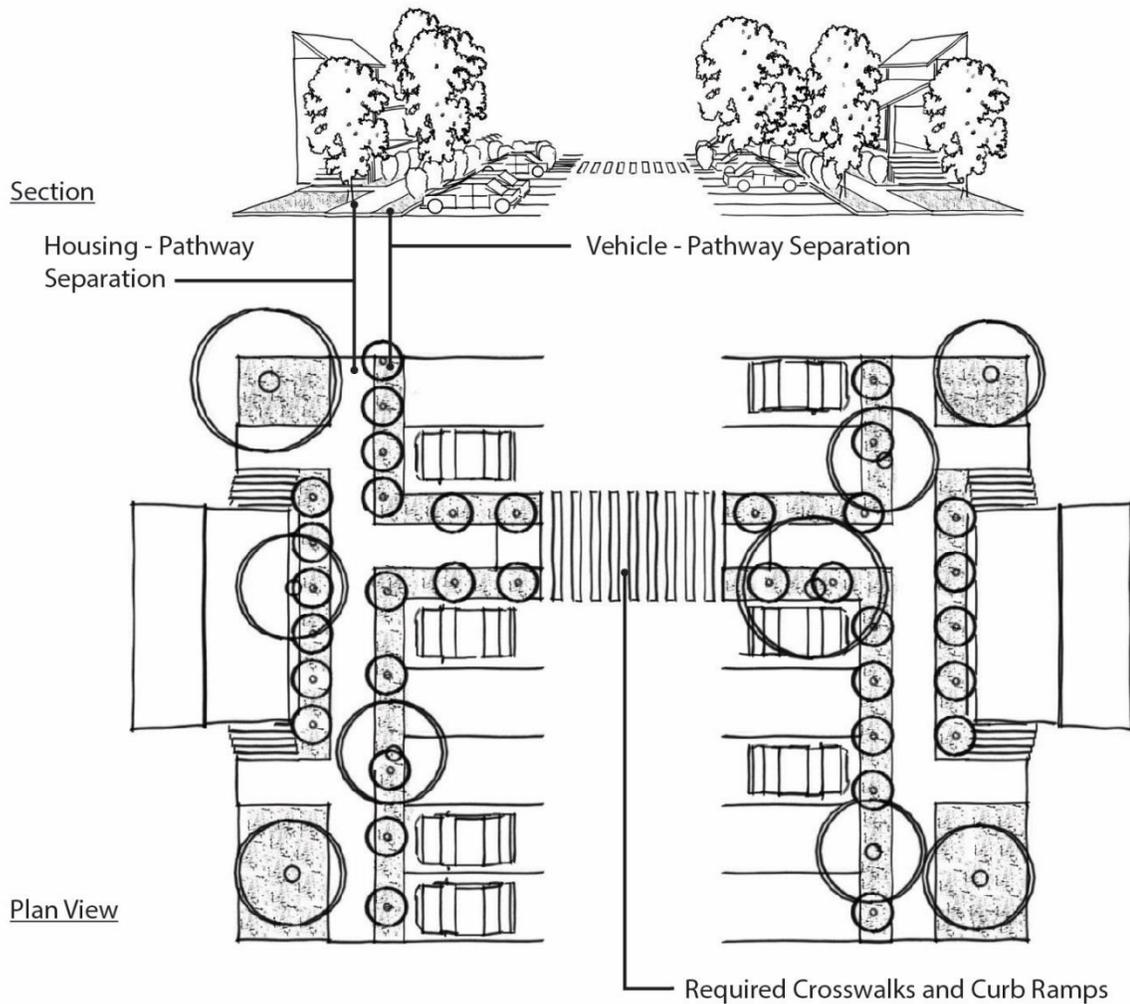
ILLUSTRATION # 8 COMMERCIAL BUILDINGS



The intent of the Design Guidelines is to provide for variety in building shape, size, roof lines and design features - allowing architectural expression within a set of established design styles and types.



ILLUSTRATION # 9 PARKING AND PEDESTRIAN LAYOUT



The illustration above shows an Interior parking lot. Note that the pedestrian pathways are separated from the vehicle travel areas. Where the pathway crosses the parking lot, a landscaped area extends from each side to mark the crossing areas. Additionally, the crossing area is clearly marked. Specialty pavers could also be used to mark the pedestrian crossing area. Trees provide screening for the parking lot. A short hedge (3-4 feet) around the parking lot in the landscaped area would provide additional screening and would further separate the pedestrian and vehicle areas. Breaks in the hedge along large parking lots could be provided to allow easier access to and from parked vehicles.

ILLUSTRATION # 10 MASSING OF LARGER BUILDINGS

This illustration shows several massing requirements:

- Maximum frontage lengths in each direction
- Required offsets in buildings
- Separation of buildings for landscape and/or parking access/pedestrian ways

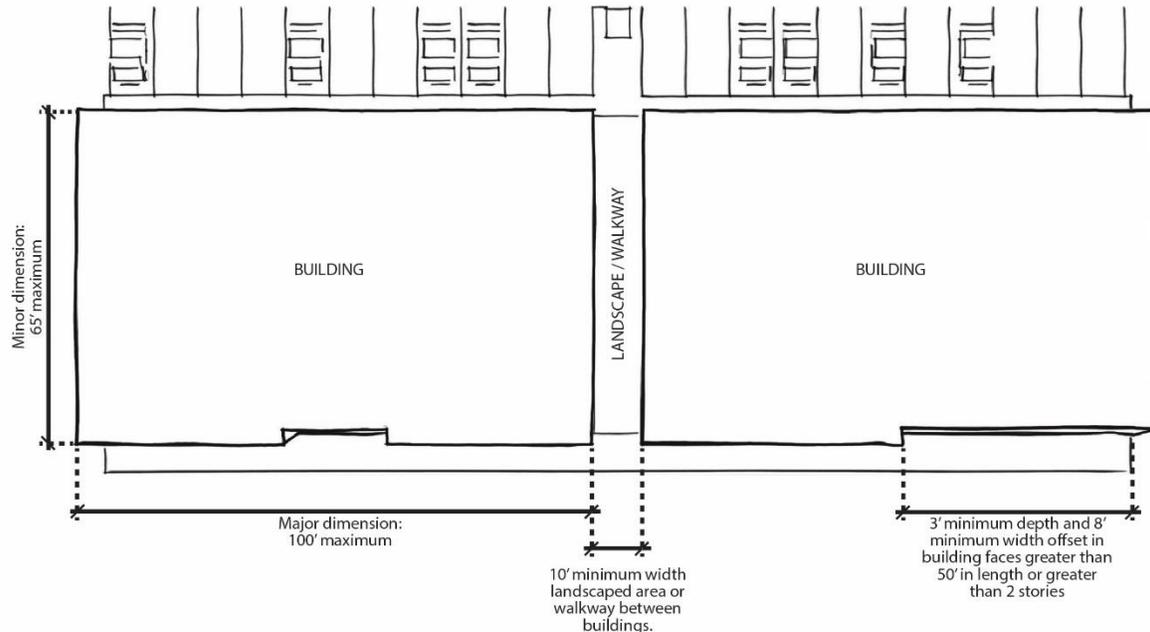
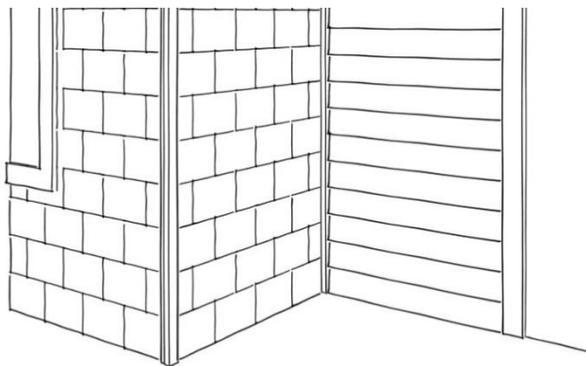
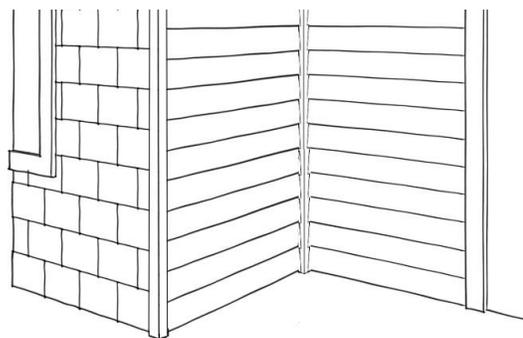


ILLUSTRATION # 11 TRANSITION MATERIALS AT INSIDE CORNERS, RATHER THAN OUTSIDE

Where materials are changed on facades, the transition should be made at “inside” corners, as at left, rather than at “outside” corners, as at right. This design strategy is in keeping with the traditional styles found in the district, as they express volumes of rooms and bays, rather than wall planes.



Desired Transition



Transition to Avoid

ILLUSTRATION # 12
EXAMPLES OF SOLAR SHADING STUDY

Solar studies should show the massing of the proposed development, as well as the shading of adjacent public spaces -streets and plazas - that would be shaded at the times specified in the design standards.

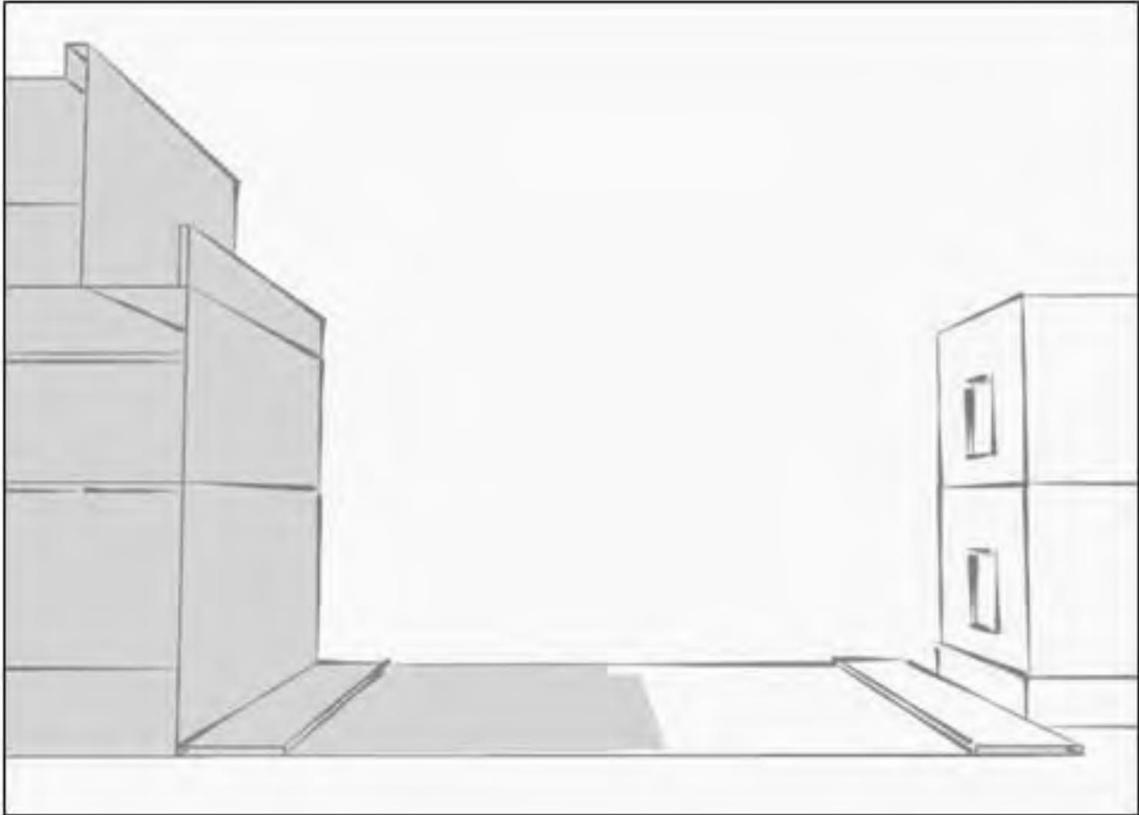
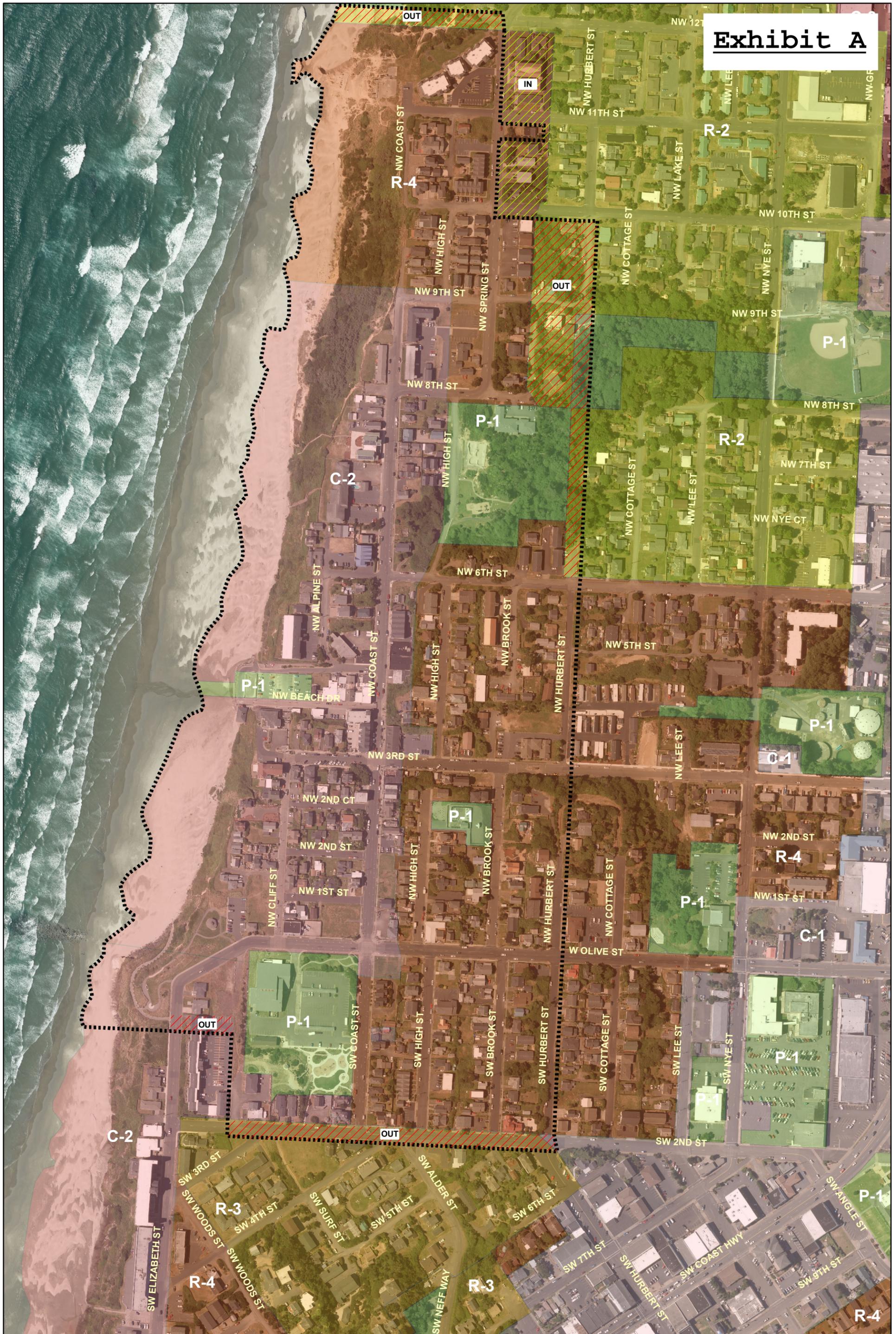


Exhibit A



MINUTES
Nye Beach Design Review Overlay
Ad Hoc Work Group Meeting
Newport City Hall Conference Room A
Wednesday, June 17, 2015

Ad Hoc Members Present: Don Huster, Kathy Cleary, Wendy Engler, Jody George, and Michael Franklin.

Planning Commission Liaison Present: Jim Patrick.

Guests Present: Frances Vanwert and Chuck Victory.

City Staff Present: Community Development Director (CDD) Derrick Tokos and Executive Assistant Wanda Haney.

The meeting came to order at 10:30 a.m. Tokos distributed copies of the agenda, the amended Design Review Code, the map (which hasn't really changed), the Design Review Guidelines, and the updated glossary. He still needs to do some formatting and cross-referencing; but it's getting closer. With this copy of the glossary, all of the illustrations are included (1 through 12). Everyone thought this helped tremendously and thanked Tokos for the good job. Tokos noted that he did swap out some of the graphics and added others to make it easier to copy. He said that first he would like to go through the changes to the Municipal Code or Zoning Ordinance and then go through the Guidelines, which the group has reviewed and provided comments on before, and he incorporated those.

Review draft Zoning Code Changes incorporating guidelines. Tokos noted that with respect to the Zoning Ordinance Chapter 14.30 (Design Standards), the Purpose section was preserved, and there were really no changes to that. As is standard practice for the Planning Commission when updating code chapters, the definitions are incorporated in one chapter of the ordinance so they will be moved to the definitions chapter of the design code. The ten-year Council review requirement that was Chapter 14.30.030 has been deleted because that has been satisfied with this effort. Under Chapter 14.30.020 (Design Review Districts: Overlay Zones Established) he will have a legal description plugged in here when it goes through the formal adoption process. That will be a text description of what is illustrated on the map. The "Adoption of Design Review: Guidelines and Standards," which is Section 14.30.030, we basically have that provision right now. It will be updated to reference the adoption date of the new guidelines and illustrations, and that is how they become official. Section 14.30.040 (Design Review Required) gets into more significant changes. This had exemptions rolled in with it, and Tokos broke them out separately; which is our practice in the ordinance. He noted that substantial improvements are defined as 50% of the fair market value of the structure. Instead of single-family dwelling, there's a reference to just dwelling unit to pick up multi-family developments. In regard to relocation projects, he said the group may want to discuss that. He couldn't figure out a reason for it being specific to structures being brought into the district. Whether it's relocated from outside the district or not, it would have to meet the Guidelines so he went ahead and made it generalized so it now applies to relocation within the district. Everyone generally agreed with that thought. He reduced the threshold for commercial accessory structures to 120 square feet. It was 300 square feet. The 120 square feet matches up with the Building Code for when a permit triggers. For the ease of administration it is easier to get it right when you're not having to decide what the alignment is with these thresholds. If a building permit is required, you have to look at design review. Everyone thought it's good that it matches up. As far as the exemptions, Tokos noted that the first one was already in there. We do have a chapter of the ordinance that deals with historic buildings. They are exempt and would continue to be under this proposal. They have their own set of standards that they have to follow. Item "B" is new. It's in our definition for substantial improvement. It would be like somebody having to meet local health code or safety improvements; and they aren't subjected to design review. Patrick asked if ADA falls under that; and Tokos confirmed it would. Franklin asked what sanitary specifications would be; and Tokos explained failed sewer lines or storm water lines. Tokos said this was implied, but now it's explicitly stated that if it's not a substantial improvement or new construction, it's not subjected to design review. Cleary asked what about if someone's adding a window. Tokos said that's not substantial. Cleary said then they could put in anything. Franklin said the hope is they stay with the feel of the house. Cleary said she questioned that one. Lots of time there's an absentee landlord. George asked how that would be enforced if they don't pull a permit. Tokos said commercial would. Patrick said not with replacement. George said they could take out the window trim and there's not really any way to monitor that. Tokos said the design guidelines weren't set up to deal with that originally. That would get into greater detail.

Tokos said that Section 14.30.060 (Approval Authority) explains what goes down what path. The Community Development Director is the approval authority for complying with design standards; the nondiscretionary stuff. This mirrors how it's currently set up. It's done as part of the building permit. It's not subject to notice. It's a checklist. He did make a change to the Planning Commission review. It now reads, "new construction, substantial improvement, or relocation of a commercial or public building that is over 65 feet in length or 35 feet in height." It currently wouldn't trigger on a dwelling. He asked if the group wanted it to. He said that he would say not a dwelling unit. The height and length issue as discussed has been commercial development; hotels and motels. Patrick thought we need to pick up apartments. He said maybe say multi-family. Tokos said we could just

say dwelling unit. In most cases a single-family home is not over 35 feet, and 65 feet is huge for a home. Maybe he'll just keep that in there. Number 2 explains that it gets kicked to the Guidelines if they can't meet the standards. Number 3 explains that if they come with a proposal that involves a conditional use permit, a variance, or something, it all goes to the Planning Commission. Even if the standards are met but it needs a public hearing on another matter, it all goes before the Planning Commission.

Section 14.30.070 covers the submittal requirements. First for those to the Community Development Director; which is largely just a building permit application, plans, and a checklist. Patrick asked if a lighting plan shouldn't be in here too. Tokos said it should be under the Guidelines, and that's for the Planning Commission; not the Community Development Director, which are Design Standards. He said it's not necessary to have it under the Community Development Director submittal, but he will put it under the Planning Commission. We don't have a trigger for it that he is aware of. Franklin asked if it wouldn't have to pass electrical review for state lighting requirements. Patrick said we have our own lighting requirements down there. We have rules for it. It doesn't call for it in the plans. The Inn at Nye Beach had to pick up and do it. Tokos said he would add lighting plan under the Planning Commission. Submittals to the Planning Commission include exterior elevations, lighting plan, landscaping plan, written findings, and any other information that the applicant believes establishes the projects' compliance. Plans should all be drawn to scale; that way we can verify.

Section 14.30.080 covers permitted uses. In Tourist Commercial (C-2), up to five multi-family dwelling units per lot are permitted outright provided they are located on floors other than street grade. That's an existing allowance. Engler asked if there isn't an exemption on 3rd Street. Tokos said that's under item "A-1-d"; "single-family, duplex, triplex, fourplex, and multi-family dwelling units, including at street grade, if located on property south of NW 2nd Court and north of NW 6th Street fronting NW and SW Coast Street, NW and SW Cliff Street, and W Olive Street." Engler thought it was on 3rd Street. Tokos said that most of 3rd Street is not C-2; most is R-4. Engler said that west of Coast is C-2 and is mostly residential. She wondered if those were torn down, would someone have to put a storefront below. Tokos noted that item "c" provides that a single-family residence is permitted outright, including at street grade, within a dwelling constructed prior to January 1, 2004. He said those are the allowances in the current code. He just cleaned it up by putting it in one spot. Under item "2", in the high density multi-family residential (R-4) zoned property, that's an existing allowance that basically uses permitted outright in the C-2 zone are subject to a conditional use permit. The limitation for the conditional use is 1,000 square feet as it is now. That's as it is now, it's just cleaned up so it's easier to work with.

Under Section 14.30.090 (Prohibited Uses), any new or expanded use in the C-2 zone that exceeds 2,000 square feet is prohibited unless there's a conditional use permit. That is in there now. Recreational vehicle parks are prohibited within the C-2 and Public Structures (P-1) zones. Huster wondered if 2,000 square feet is the right number there. Tokos said that's not a design trigger; just for a conditional use permit. If they have a conditional use permit, the Planning Commission will see the whole thing because the applications are consolidated. They could have a conditional use for expansion over 2,000 square feet that wouldn't trigger anything more robust. It might not be over 35 feet in height or the side of the building might not be over 65 feet in length. Those issues might not be in play, which is a different trigger. He asked if 2,000 square feet is right; that's what's in there now. He said you could have one where it triggers it and you end up in the guidelines because it's big enough that it will trigger that as well. If they meet the standards, for the Planning Commission Tokos would advise that they do and that the Commission is just reviewing the conditional use permit. He said this is only on new or expanded uses, but if a pre-existing structure is expanding above 2,000 square feet then it's triggered. Cleary thought maybe we need a lower number. Huster said that he wouldn't want to go lower. Tokos explained that where they've taken down a home and put in retail, that's new. Vanwert asked if it could be broken out. Could you separate it so that new is different than expanded? Cleary said or put a cap on the total size. Franklin asked if we don't already have that. Tokos said each lot will have its own limitation based on size. Huster said you can't go that big down there anyway. He asked what if it's multi-story. What if they hold to a 1500 square-foot footprint but do multi-level? Franklin noted that it's gross floor area. Huster said it wouldn't look different, just more square footage for one particular commercial application. Patrick said this says prohibited. Tokos said unless there's a CUP obtained. He said when it has triggered a conditional use, you are looking at design guidelines anyway because they tend to be big structures. Huster said maybe it's about right for checks and balances.

Tokos said next the code gets to special standards (14.30.100) such as no drive-through windows are allowed. That's in there now. There is a requirement that commercial buildings fronting certain streets are not set back more than five feet. There is also a guideline that gets at that as well. The purpose is to keep the buildings close to be walkable. The sidewalks are public rights-of-way. Franklin said then that's beyond the sidewalk and is within five feet unless it's sitting back for something like a patio or a courtyard. Tokos said that the next special standard is that the required yards and setbacks are reduced by 50% except for garages. That will remain at 20 feet. That is something the group talked about early on. Then it acknowledges the minimum lot size; 3,000 square feet area and 30 feet lot width. Huster asked what happens with an existing nonconforming lot. Tokos said if it's an existing legal lot, you are fine. There may be some really old ones that are smaller. As long as it's lawfully created in the first place, it's okay. Number 5 Residential Uses gets at ones that are permitted on C-2 in those specific areas. Those were dimensional standards. It includes 35 feet height. You have maximum height and lot coverage. Franklin said that will keep the size of structures down quite a bit. Tokos said that Number 6 gets at adjustments to off-street parking requirements. The first 1,000 square feet of floor area for commercial uses is exempted from the calculation. That is an existing provision. A parking

credit is allowed if there's an on-street space abutting the property. The provision requiring a conditional use permit over 100 feet has been deleted. It's been replaced with a provision in the Design Guidelines for the Planning Commission with 65 feet threshold for review instead of 100 feet dimension. Franklin asked why on 6-A the first 1,000 feet is exempt. Tokos explained that it's a way to encourage density down there. The issue is to provide off-street parking. Hopefully it's striking the right balance given the public assets down there. Engler asked if the 1250 square feet means they can't build bigger. Tokos said it's density; the number of units you can have. If you have a 5,000 square foot lot, you can have no more than four units. Engler asked, regarding the parking, does the City allow for compact spaces. Tokos said 40% of overall spaces can be compact. Cleary asked what the difference was in size. Tokos said standard spaces are 9' x 18', and compact is 7.5' x 15' or 16'. Tokos said there had been language about the allowance of B&B uses on any floor of a dwelling, and that is now gone. That's taken care of in the VRD code. The remonstrance agreement is also handled separately under the transportation standards; so it was taken out. We have consolidated the review procedures in another chapter, and that's why they're pulled out of here. He left the "Modification of a Design Review Permit" section (14.30.110) in here. It talks about if you are changing the design. If you were approved under Design Standards, you take it back through and go back through review under the Standards. If it was under the Guidelines and Planning Commission approval, then you have to take it back to the Commission. Cleary asked who is to know they are modifying. Tokos said we'll see it in the building plans. You can eliminate an element and not be subjected to go back through. For example, if you had a small out building and decided not to build it, you wouldn't have to go back; or if you replace it with something that doesn't require design review. Huster asked if someone removed the Gingerbread they would; and Tokos confirmed that. If it was something like they left the corbels off, that would be picked up in the inspection. If it's not consistent with the building plans, then we require correction at that point. Franklin asked if then that's something that will be picked up and not just slip through. Cleary said that's been her concern all along; enforcement. Engler asked if the original application fee would apply. Tokos said if they have to go back, we have to notice it and incur the costs on that front. Patrick said we typically don't encounter this unless the builder ran into something during construction. Tokos mentioned for instance that the Inn at Nye Beach won't be constructing their spa building. The owner assumed that it was okay, but the engineering geologist said it's not okay with a building that close to the edge of the bluff. There will be an at-grade space that is open.

Tokos next covered Section 14.01.020 (Definitions). He noted that the biggest change was to "substantial improvements." What was in the existing code was split between 25% and 35% thresholds. We use 50% in the floodplain and in the Sign Code; and we're looking to standardize with that version. So if what you're doing exceeds 50% of the market value that constitutes substantial improvements. Patrick asked if that's the market value of the structure only. Engler asked, not assessed value? Tokos said we use market value off the assessment. Patrick said right now that is way out in front. Tokos said he made a slight adjustment to the definition of gross floor. We had one for parking and how it's calculated for parking. We really would like just one definition, so now it's the same.

Review updates to the Design Guidelines and Standards incorporating revisions from the February 25, 2015, meeting:

Tokos said that he found the original graphic photo file, so that's why the photos look so much better. Huster asked if they're digitized so they can be reproduced; and Tokos confirmed that. He said that a lot of what you see are changes to be cross-references to the Municipal Code; just cleanup. Under the Design Guidelines on the top of page 4, that is important cleanup; 65 feet in length and 35 feet in height. That's typically for commercial projects. That's the new proposed dimensional standards as opposed to 100 feet and 35 feet triggers for Planning Commission review. Under Guideline 1, another reference to the illustrations was added. On Guideline 2 (Building Scale) he made a change that the group requested at the last meeting; "building elements oriented towards a public or private street." That's what that guideline is about. He added a bullet point that gets at if the building is greater than 2 stories or longer than 40 feet, you need to emphasize breaking it up by using those methods. Franklin noted that it also has the 6 foot step-back on floors above the second floor. Tokos confirmed that it does. He said you have to do at least two of the four elements listed. Engler asked if it only has to be stepped back 6 feet if it's above 35 feet. Tokos noted that you could be over 65 feet in length and not trigger the height and still do a second story. When you get the third story, you are pushing 35 feet anyway. Under Design Guideline 3 (Roof Design), he added some references to illustrations from what the group talked about previously.

On Design Guideline 4 Tokos made the requested change to the second bullet for the exception to commercial if they have to provide for fire egress. On the third bullet, he cleaned up the language to say "Separation between building walls at the street level..." Franklin wondered if we should add fire egress on that as well. What if there's a door on the side? If they had 3 feet or 5 feet between buildings because that is the only way somebody could get into a fire door; say there's a cliff behind them. Tokos said this says they have to avoid separation at street level. Typically our fire department doesn't have a problem with a longer building as long as they have a way around either end.

Tokos made no changes to Guidelines 5 and 6. On Guideline 7 (Connected Pedestrian Network), the group asked him to put in language that makes it clear this is talking about linkage between adjoining public and private spaces, and not private to private spaces.

For Guideline 8 (Exterior Lighting and Glare Avoidance), Tokos added language on the first bullet point stating such that no direct glare occurs onto public right-of-way or adjacent property; and on the second bullet the group wanted to allow targeted

uplighting if it's used to draw attention to a specific design element by being directed at that feature. Huster asked if there wouldn't be glare if you're looking up. Tokos said if there's downlighting on the building, we don't want it to glare onto the public right-of-way. We want it directed back at the building or straight down. Engler said that she has a problem with the light poles that PUD uses. They only have bright bulbs; ones made for highways. She sees a problem if your bedroom window is next to one of those poles. Cleary thought that the lighting they put in Nye Beach is a problem. Tokos said that's an issue for a future conversation with PUD. The City would love to see street lighting downward directed. Engler thought maybe if we lobbied the PUD. Tokos said the City is a pretty big customer. George wondered if it could be just a bulb issue. Tokos said they could put a shield that looks like a hat over the existing lights. Franklin said if it's just a bulb issue, do they just replace them. Huster wondered if PUD is just not interested in finding them, or they don't exist anymore. Tokos said it's a culture change with PUD, and there probably are some cost considerations. Maybe if we had a citizens committee to see that it happens. We are only two or three years from their franchise coming up; and that's something we probably can work into that. Patrick said with the new LEDs he bet you can get a beautiful design that would direct light down. Engler said when she talked to Paul Davies who was with PUD, he said that PUD wants to provide affordable power, they don't want to store poles or inventory. That is why the City had to do the Bay Front and Marine Science Drive. Tokos said the City doesn't want to maintain an inventory either. Tokos said we might want to get a street lighting district.

Tokos noted that Guideline 9 (Requirements for Solar Access), he relocated out of the Standards per the group's recommendation. The language is all the same, he just moved it into the Guidelines.

Tokos said that there were relatively minor changes to the Standards. On page 10, he added the chimney element to siding. George said that she would like to see board and batten included as an outright use. It is a moderately priced, very traditional, very casual, beachy finish. Franklin said it can also look very cheap if the whole house is done in it. Patrick said that fake board and batten is nothing but T1-11. Franklin mentioned a rough-sawn cedar that you put the bats on; and when it's painted it looks cheap. Cleary wondered if board and batten is added to the list, can we require that it be heavy-duty. Could we write in the materials it needs to be made out of? Franklin said it's not a big deal if it's just used on the gable end or a little, but if the solid structure is mainly T1-11, it would look cheap. Huster said maybe just as accent. George thought that was the conversation at the last meeting that she wasn't able to attend; if you just used it as an accent. Tokos said that it's limited to no more than 10% under Design Standard 3. Huster said maybe that covers it then. Franklin thought that something should be there saying that you can't use that as the major element. Patrick noted that it lists the options for the main siding. Engler said that 10% is not very much. She said she just saw a gorgeous corrugated metal building in Yakima. George said that people can go overboard with board and batten. We can't cover all of that. Tokos said if someone feels strongly about board and batten, they can go to the Planning Commission. George said Greg Morrow is using it on his building down there, and it doesn't bother her. She wondered if it's permissible. Everyone agreed that it's an improvement over what it was; and these codes aren't in effect yet. Tokos said he wasn't sure Morrow is doing enough modification in terms of value to trigger review in the first place; he probably isn't. Tokos said it's important to think that these are Design Standards. They are black and white; if they meet them, they go. When it's administrative, it's better to be conservative for alternative elements. It's not like they can't seek Planning Commission approval and get public input. If they're building under the Standards and it's an allowance, we have to let it go. Engler asked what the fee is for design review. Tokos couldn't remember the exact number, but said it's several hundred dollars.

Cleary said on page 8 where it says Element B "Main Façade Features," at least two are required. She wondered if that's out of all twenty; or just through nine and then two out of roof details and two out of siding. She thought that if it's only two out of all of the choices, that's not enough. Franklin asked if it isn't one from Element A and two from Element B. Cleary said if they choose a sunroom and also choose a porch from the main façade features that takes up two and they don't have to do anything under roof detail or siding. Tokos noted that the group spent a fair amount of time talking about breaking them up. Requiring two from each element wouldn't be hard at all. George said she sees how Element A would be just one. Looking at Element B, Tokos thought it wouldn't be tough to do two from each subcategory; porches and verandas, roof details, and siding. Cleary said as it is if they want a porch on two sides of the house that takes care of it. Shouldn't there be two in roofs and for siding. Huster said he prefers it the way it is. Patrick said he didn't want to see two out of roof details. Cleary said maybe say out of each element a minimum of one has to be chosen. Patrick said why don't we say select one out of each subsection; pick one from porches, roof, and siding. Huster said historically, Nye Beach structures were simple to fancy. We don't want to require too much. Cleary said but we want to require enough. She wondered about the difference between Element A and Element B "Roof Details." Tokos said that roof details are more decorative. Element A is basic roof pitch and roof design. Cleary asked so they pick one out of Element A and then pick roof details. Tokos said Element B is artistic, and Element A is basic structure. George agreed that it's not enough if they only have to pick two out of all of Element B. Tokos said if they have to pick one; they have to put siding on their house. It's almost better to go with four rather than two. Patrick agreed we need to be careful. He thinks there's a lot of things that wouldn't work if they pick one out of each. Everyone thought it was better to say pick at least four out of the twenty. Tokos said if it's pick two, they will pick siding because they have to side the place. He said for Element B it has a total of twenty. They will be picking at least four. Everyone thought that was fair. Engler asked if windows have to be trimmed. It was noted that is a choice on the bottom of page 10.

Under “Multiple Family Dwellings” on page 11, Tokos noted that the strike-out language is what the group discussed wanting to strike. It was language that SERA put together and gets at trying to put standards to the depth of a building in addition to the length of a building. What Tokos got from the group at the last meeting was that it didn’t make a lot of sense. Engler asked why it doesn’t. Tokos said we can’t put in nondiscretionary standards. What does “approach” mean; is it within five feet, ten feet, or what? The discussion was if it’s 65 feet in length, we can’t go more than 65 feet in depth. How does that work for structures that aren’t just a box; say L-shaped. If it’s 65 feet on any face, it gets into the Design Guidelines anyway. So, he took that out completely.

Tokos noted that on page 15, he pulled the SERA-suggested solar access requirements and put it in the Guidelines as number 9 instead. The strike-out at the bottom of page 15 is for commercial as opposed to residential, but it’s the same language. He thinks “C” at the bottom of page 16 was a strike-out, but he doesn’t remember the specific discussion; maybe it just didn’t make sense. Patrick noted that sometimes the side of a building is up against another building; and like with the Inn at Nye Beach, a situation where they couldn’t put windows on the north side because it was a fire wall. You can’t meet the standards on a fire wall. He thinks that’s why we struck this. Cleary wondered if that will leave a loophole later on. Should we leave it in there with a caveat about fire walls? Patrick thought striking this won’t leave us open to anything.

Tokos noted that on page 17 in Item “D” he removed the reference to payment in lieu of parking, which is no more. On page 18, the solar access requirements were moved to the Guidelines.

Cleary told Tokos he did a good job.

Tokos noted that on the Design Review Glossary and Illustrations he swapped out a lot of the illustrations and went with ones that would photocopy. Patrick noted that the definition is there for regular board and batten siding. George noted that for the corner board picture, Tokos used the one that is incorrect. It makes more sense if he were to use the correct picture. She said to look at the example on page XVI. Tokos said also on page XVI he should label those illustrations “preferred” and “avoid” as well. George said to her the corner board illustration is confusing. Cleary said if you remodel, you can do anything; that’s where the rub comes from. Tokos said if it’s less than 50% of market value, there’s no review. Huster said, but you are starting with something. Cleary said it seems there should be restrictions for remodeling as well to keep within the guidelines. Tokos said you do see that with architectural review in some areas. This wasn’t set up to deal with changes in structures. As long as it conforms to this definition, board and batten could be added. Cleary asked if there are standards, or it’s just a board. Patrick said you can get 16 inch; but it’s usually 12 inches or smaller. He said the problem with board and batten is they split. Franklin wondered if it would make sense to state that it does not include 4’ x 8’ sheets. Patrick said there’s no definition of any sheet goods at all. Tokos said he could expressly put in the definition “no plywood.” Franklin mentioned a product, Breckenridge, that looks like real cedar and then you put the batten over them. It looks nice, and he wondered if by just saying plywood we would be eliminating that. Patrick said for outright if you stick with board and batten, you can get away with it. He thinks we should define that stuff somewhere in here. Huster wondered if we defined the distance between the batten strips would that help or be confusing; maybe a maximum of 16 inches, or we could do 12 or 8. George would like a maximum of 12 inches. Huster said it depends on the size of the structure. Patrick suggested sticking with the original definition of wide and thin boards; and we can play with that.

Everyone told Tokos this was a good job.

Tokos said after you get out of the definitions, the rest were just illustrations. The illustrations starting at number 7 are new; 1 through 6 are pre-existing. Numbers 7, 8, and 9 were redone. Illustration 10 gets at massing, 11 shows transitional materials, and 12 is an example of solar shading. On illustration 11, Tokos will write the descriptions under those two as was discussed.

Next Steps: Tokos is planning to take this to the next Planning Commission work session for discussion and to present what the group has just seen with the changes that have been talked about. Coming out of that, he hopes to get direction from the Planning Commission to initiate the amendment process. Cleary asked how he expects it to go. Tokos thinks it will go fairly well. A lot is clarification and some additional cleanup. The biggest thing is that guideline review will be required for structures that are 65 feet in length and 35 feet in height where it used to be 100 feet in length and 35 feet in height. There are some additional guidelines developed; solar is one. Massing is further clarified in terms of what we’re looking for. And there’s material transitions and things of that nature. Those are the biggies. Patrick said it’s also a lot clearer. It will be easier to look at and get a pretty good idea if a project will fit. Tokos said there is also more in the way of treatment required. Huster asked if Tokos had a timeframe for the process. Tokos said if the Commission comes out of the work session and says initiate the adoption process, he would put it together. We would notify the State 35 days prior to the hearing. The initial hearing would be set a month and a half out. If that goes well, the second hearing at the City Council would be two to four weeks after that. Cleary said so this could be adopted as soon as fall; and Tokos said absolutely. He said that he doesn’t see anything terribly controversial. Patrick said the boundary changes maybe. Tokos said he had talked to John, and he is fine with it. Patrick was thinking up north where there is some R-4 property we are pulling into the district, and we took some out. He doesn’t expect much from them; but you never know. Engler said if it can fit in, she would like to request that Tokos include an illustration on the first page of a building

that is commercial below with living above because we are including businesses. She said maybe he could take one out. She likes the Linger Longer Lodge because it's still there. Patrick prefers to take out the Starr Cottage because there's too much Gingerbread.

Tokos said this is the last meeting of the Ad Hoc Group, but he will provide the members with notification of the hearings.

Discussion of Proposed Nye Beach Business Core Area Zone Change: Vanwert noted that several members of the group had met independently and had turned in a proposal for a zone change in the core area of Nye Beach. She asked Cleary, George, Engler, and Victory if they were okay with the recommendations made here in this document or if they wanted to proceed with that zone change proposal as well. Those members felt that while it's likely the proposed zone change might help with development, they felt comfortable that these changes here will cover their concerns satisfactorily. Vanwert said the whole reason for the proposed zone change was to address mass and scale. She asked if this code change adequately addresses that. Engler thought there were interesting concepts to that, but she wondered if they wanted to go ahead wouldn't that be a separate thing and not incorporate that into this document? Tokos said they could pursue that separately at some point in time. It's true that loading that into this document would complicate it more. It's a concept that could be picked up at another point in time; particularly if this wasn't accomplishing what they wanted.

Other Topics:

Engler thought it was certainly good to get this taken care of.

Cleary said if we're doing this, she would be interested in someone being able to develop those six lots on Coast and Olive. She wondered if these guideline changes have helped to do that. Engler asked if she meant like the cottage cluster concept. Tokos said he has talked to one individual about that; and it can be done. Cleary asked if some of these changes makes that easier. Tokos said it doesn't do anything on that. Franklin thought the seller was set on selling only if the buyer builds cottage cluster style. Huster said it's been several years since he talked to the owner; but it didn't pencil out for Huster. He believes the owner paid too much for the property and is trying to get that back. Cleary said that Huster had brought up the requirement about having driveways next to each unit. We talked about group parking to help with that situation. Huster said have a common parking area. It meets the intent of the code. It would go before the Planning Commission for discussion. Franklin didn't think we have done anything to affect that negatively or positively. Huster thought the issue for those corner lots is more economic than zoning. George said the Planning Commission would figure out how to make it happen. Huster said that nothing prohibits cluster parking. Patrick agreed that the Commission doesn't get involved in where the off-street parking is.

Engler said she would like to see us encourage single-family homes or where you live above retail. She said that was Don Davis' original thing. He saw a village. She didn't know if we're saying that in the document. Patrick said it's set up for people to do it. Either they will do it or they won't. It comes down to what pencils out and what people want to buy.

Tokos said something to pick up separate from this process is something that came out of our student housing conversation; property tax exemptions for multi-family developments. If a developer makes their rent affordable, they would be eligible for a property tax exemption for ten years. The City has to start a conversation with the County. It's most effective if all taxing entities are on board. There's multiple unit, and then there's multi-family; he will have to double check on those. Either way the units, or some portion of the units, have to be offered at a certain price below market rate.

Adjournment. Having no further business, the meeting adjourned at 12:15 p.m.

Respectfully submitted,

Wanda Haney
Executive Assistant



AGENDA & NOTICE OF PLANNING COMMISSION MEETING

The Planning Commission of the City of Newport will hold a meeting at **7:00 p.m. Monday, June 22, 2015**, at the Newport City Hall, Council Chambers, 169 SW Coast Hwy., Newport, OR 97365. A copy of the meeting agenda follows.

The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired, or for other accommodations for persons with disabilities, should be made at least 48 hours in advance of the meeting to Peggy Hawker, City Recorder, 541-574-0613.

The City of Newport Planning Commission reserves the right to add or delete items as needed, change the order of the agenda, and discuss any other business deemed necessary at the time of the meeting.

NEWPORT PLANNING COMMISSION Monday, June 22, 2015, 7:00 p.m.

AGENDA

A. Roll Call.

B. Approval of Minutes.

1. Approval of the Planning Commission regular meeting minutes of June 8, 2015.

C. Citizens/Public Comment.

1. A Public Comment Roster is available immediately inside the Council Chambers. Anyone who would like to address the Planning Commission on any matter not on the agenda will be given the opportunity after signing the Roster. Each speaker should limit comments to three minutes. The normal disposition of these items will be at the next scheduled Planning Commission meeting.

D. Consent Calendar.

E. Action Items.

F. Public Hearings.

1. Continuance of File No. 2-PD-15 / 3-PD-15 / 1-SUB-15. A request submitted by Bonnie Serkin of Landwaves, Inc. (Elizabeth Decker of JET Planning, authorized representative) for approval of major amendments to the approved Preliminary Development Plan, Final Development Plan, and Tentative Subdivision Plat for Phase 1 of Wilder. The Planning Commission held a public hearing on this matter on Tuesday, May 26, 2015, and Monday, June 8, 2015.

G. New Business.

H. Unfinished Business.

I. Director Comments.

J. Adjournment.

Draft MINUTES
City of Newport Planning Commission
Regular Session
Newport City Hall Council Chambers
Monday, June 8, 2015

Commissioners Present: Jim Patrick, Lee Hardy, Rod Croteau, Mike Franklin, and Bill Branigan.

Commissioners Absent: Bob Berman and Gary East (*both excused*).

City Staff Present: Community Development Director (CDD) Derrick Tokos and Executive Assistant Wanda Haney.

A. Roll Call: Chair Patrick called the meeting to order in the City Hall Council Chambers at 7:03 p.m. On roll call, Hardy, Croteau, Patrick, Franklin, and Branigan were present; Berman and East were absent but excused.

B. Approval of Minutes.

1. Approval of the Planning Commission work session and regular meeting minutes of May 26, 2015.

Commissioner Hardy noted a word correction in the regular meeting minutes. **MOTION** was made by Commissioner Croteau, seconded by Commissioner Franklin, to approve the Planning Commission work session and regular meeting minutes of May 26, 2015, as corrected. The motion carried unanimously in a voice vote.

C. Citizen/Public Comment. No public comment.

D. Consent Calendar. Nothing on the Consent Calendar.

E. Action Items.

1. Consideration of Draft Land Donation Agreement with Habitat for Humanity of Lincoln County. Tokos noted that there was a draft letter for consideration and possible adoption. There was also a draft land donation agreement on which he would appreciate the Commission's feedback. Tokos noted that Sally Bovett had asked if she needed to attend tonight's meeting; but he told her that if she felt comfortable with the Commission's reaction following the last work session, she didn't have to attend. She would have been happy to be here, but she got a good feeling from the Commission at the last work session. Hardy had a question on the agreement. She noted that on page 1 in the next to the last paragraph it talks about limiting the resale value to 80% of medium family income. She wondered if we really want to say 50% of income as far as resale value. Are you talking about one year's income, ten years' income, or 20 years' income? Tokos will clean up the language to clarify that. Hardy noted that number 9 on page 4 needs the same clarification. Tokos said that's a good point, and he will clear that up. Croteau thought the agreement seems pretty clear and straight up. Tokos said that Habitat is very excited. We'll run this up the flag pole and see what happens. Croteau hopes with all the discussion we've had about this issue that the City Council will see their way clear to make this start. Patrick said at least do the donation. Get the first one done and then there'll be a good reason to give a donation on the second one.

MOTION was made by Commissioner Branigan, seconded by Commissioner Franklin, to approve the letter and draft agreement once Tokos makes the appropriate wording corrections. The motion carried unanimously in a voice vote.

F. Public Hearings.

1. Continuance of File No. 2-PD-15 / 3-PD-15 / 1-SUB-15. A request submitted by Bonnie Serkin of Landwaves, Inc. (Elizabeth Decker of JET Planning, authorized representative) for approval of major amendments to the approved Preliminary Development Plan, Final Development Plan, and Tentative Plat for Phase 1 of Wilder. The Planning Commission held a public hearing on this matter on Tuesday, May 26, 2015.

Patrick noted that this a continuance of the hearing for File No. 2-PD-15/3-PD-15/1-SUB-15 from May 26th. Tokos explained that the applicant hasn't had a chance to digest Tim Gross' comments. He provided the Commission with Gross' memo of June 3rd to give a sense of where things stand. The applicant and the City will work through those. He thinks we'll end up in a position where the applicant will disagree with the City Engineer on some items. He is trying to get those focused and narrowed and related to approval criteria so the Commission can make a call as to which direction you think is appropriate. Tokos said he didn't have enough time to do that for tonight's meeting, considering when Gross provided his comments; but he thinks we're in good shape to have that for the next meeting. Tokos noted that Bonnie Serkin initially really wanted to be here to talk through these issues; but he convinced her otherwise. While she certainly could have done that because the Commission would have given her an opportunity to speak, it wasn't going to be something that's resolvable tonight; and it could be rather confusing and hard to connect the dots when you have so many issues in play. It's probably better to go through and whittle the list down until it's a small number. Then with that small number get it related to approval criteria and get the respective arguments laid out clearly so the Planning Commission can decide the most appropriate way to go.

Croteau thought he would like to see that. He said these issues really look fatal in a sense. Tokos said no, they're philosophical in some respects. There are some significant cost issues involved in some; particularly on some of the utility issues if they have to extend their service on Harborton because those lines are under pavement; and that's a big deal. Croteau asked if then within the next two weeks the Commission will get a written response. Tokos said the Commission will get a set of findings and final order. How he sees this coming together is where there are points of disagreement, he will give the Commission alternative findings. That way the Commission can go with option one or option two. That's how he's going to try to frame it. Croteau thought that's reasonable.

With the record re-opened for any testimony, Fire Chief Rob Murphy, the only audience member present, was asked if he wanted to speak.

Interested Parties: Newport Fire Chief Rob Murphy thanked the Commission for having him and noted that he was asked to be here to provide his comments. He wanted to echo some of the concerns that Gross has on this project. Murphy said he's not opposed to the project, he just has some concerns; which for the Fire Department is access. It's the street widths, the corner, and the parking scheme especially with the angled parking and the depth of the parking. The Fire Department's concern is basically they want to be able to make the corners with their trucks. With the combination of the narrow streets, the tight corners, and the angled parking, he can foresee a situation where a car is parked incorrectly or it's a long vehicle and they won't be able to make the corners with their trucks. He said an example of that is NW Coast Street and Beach Drive underneath the arch. He can't get their trucks through it. He doesn't want to see that again. He said hopefully we can find solutions. He is willing to look at what they suggest. The Fire Department needs to be able to get trucks in there quickly to put the fires out. With examples of the fires we've had lately and with the winds like we have today, there's not much time to keep a fire from spreading from structure to structure; especially in this development where they put them close together. He needs to get in there quickly and get water on it quickly. Murphy said that Gross laid out his concerns very well in his June 3rd memo to Tokos as far as the specifics about where he has the emergency vehicle access on Fleming Street, on 42nd Place, and again that angled parking. You put that all together, and that's more Murphy's main concern. Gross obviously has others dealing with utilities. Murphy's main concern is access.

Croteau said those are all legitimate concerns. He noted that they all came under Gross' memo. He wondered if that isn't something the Fire Chief would normally do, or is it handled through Public Works. Murphy said he would be happy to have a memo put in the record that reaffirms and agrees with the concerns Gross has. The Commissioners thought that would be helpful. Croteau said this is a very important issue, and instead of coming from Public Works, he would like to see it coming out of the Fire Department. Hardy agreed since it's a public safety issue.

Patrick closed the public testimony and asked for a motion for continuance.

MOTION was made by Commissioner Croteau, seconded by Commissioner Branigan, to continue this matter until the June 22nd meeting of the Planning Commission. The motion carried unanimously in a voice vote.

G. New Business. No new business to discuss.

H. Unfinished Business. Tokos provided some updates on things that the Commission has dealt with previously.

1. The Local Improvement District (LID) project, on which Franklin was the designate, will have a kick-off meeting toward the end of the month. The consultant is doing data collection from the City now so they can start to ramp up. It may be the first part of July.

2. For the Urban Renewal Plan for Newport, the consultant selection has just finished. Croteau is manning that committee, and that will be ramping up soon.

3. It has been a while since we've heard anything regarding the grid-connected test facility, PEMAC, off the coast of Newport. They have been off addressing federal environmental rules and are still out there working through the regulatory process. They were here last week and held a stakeholders meeting with the Department of Energy representatives. It now looks like there's a competitor with Cal Poly San Luis Obispo as the lead. The Department of Energy reps met with Oregon State first and then were headed down to meet with Cal Poly. They're not as far along as OSU. As the Department of Energy gets closer to funding this, they will be putting it out for competitive proposals. They were noncommittal about dates, but his sense is it looks like they will be getting the funding announcement out within the next two years. This meeting was a meet and greet with the stakeholders. We had an opportunity to share with the Department of Energy all of the leg work that's been done to get to this point. They heard from the City, from some key members of the fishing community talking about how they worked through the process of narrowing down the location, and from Central Lincoln PUD talking about how they could accommodate the grid connection. It was a productive meeting. This project has been off our radar for a while because they've been dealing with environmental issues and not us; but it's continuing to move along. This is a priority for the Department of Energy. We'll see how it plays out.

4. The Nye Beach ad hoc group, which Franklin and Patrick attend, will be meeting on June 17th. Tokos will be getting materials out toward the end of the week so we can get that phase wrapped up and get it brought back to the full Commission.

5. All of the South Beach Urban Renewal projects will be announced and advertised for bid around the 15th. Those include Abalone, 30th, Brant, 27th, Safe Haven Hill, and Ferry Slip. That's about \$4 million of construction all at once, plus the parking area for the City Hall campus will be re-advertised and thrown in with that as well since we had only one bidder on that. Branigan thought that FEMA was doing Safe Haven Hill. Tokos explained that FEMA is funding Safe Haven Hill, and the City is doing it. FEMA is paying about 75% of the cost.

6. Franklin asked about the Agate Beach Wayside project. Tokos said they're putting together the specs on that, and next week we should have the 90% drawings. We've done our final open house on that, and now they're just getting into the details. We just received some of our final permitting; the wetland permitting and the ADA exception because it's not ADA accessible. We did a revised submittal to the State on that. Those funds have to be committed before September. The development work is done, and at 90% we're talking about moving a sign here or there or a minor adjustment to a manhole; no major changes. Actually the funds will be committed before September, it will bid a little after that, and construction will be in the spring.

Patrick asked what about South Beach. Tokos said we will roll into construction on that one; it will go this year. He noted that Urban Renewal also now owns the old Shones' property and has the remaining tenants under lease.

7. Patrick asked what the timeline is on OMSI. Tokos said they plan to open in April of next year. They will have the work done before then. It will be all finished. That's all moving ahead. They already have their foundations, and he thinks they have started framing on a couple of the structures. They're moving right along. Our Building Official is over there almost daily.

8. Patrick noted that they've finally scheduled their first Newport Visioning meeting that he volunteered for. That's coming up some time this month. He thinks the 23rd. City Manager Nebel took the lead on that, and Tokos wasn't notified but will ask.

9. Croteau asked, although we are continuing the Wilder matter, does the public testimony remain closed? Tokos thought at the opening of each continuance it's good to confirm that the hearing is still open for additional testimony. As a matter of practice when you do a continuance, it's a good thing to say that up front so people know. Patrick said if you continue a hearing, it's still a hearing.

I. Director Comments. No further comments.

J. Adjournment. Having no further business to discuss, the meeting adjourned at 7:25 p.m.

Respectfully submitted,

Wanda Haney
Executive Assistant

Memorandum

To: Newport Planning Commission
From: Derrick Tokos, Community Development Director 
Date: June 19, 2015
Re: Wilder Phase 1 Major Amendments (File No. 2-PD-15/3-PD-15/1-SUB-15)

Enclosed is a revised set of drawings for the Wilder Phase 1 Amendments, along with letters from JET Planning and 2G Associates that summarize the changes and respond to comments provided by the City Engineer on June 3, 2015. There are still points of disagreement that I will frame in a draft set of findings that I'll distribute at the hearing on Monday. The findings will contain no new information or evidence. They will simply relate the points of disagreement to the relevant approval criteria and will point out options available to the Commission. If it is acceptable to the Commission, I would be happy to walk through the findings once the hearing is reopened for testimony.

Attachments

Memo from Tim Gross, Public Works Director, received June 3, 2015
Letter from JET Planning and 2G Associates, dated June 11, 2015
Letter from JET Planning and 2G Associates, dated June 15, 2015
Copy of the Wilder Master Plan Drawings, dated June 15, 2015

City of Newport

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Memo

To: Derrick Tokos, Community Development Director
File

From: Timothy Gross, Director of Public Works/City Engineer

Date: 6/18/2015

RE: WILDER PHASE 2B, 2C, AND 2D FINAL DEVELOPMENT PLAN REVIEW

This memo is a summary of review comments for the most recent submittal of THE WILDER PHASE 2B, 2C, AND 2D FINAL DEVELOPMENT PLAN dated May 20, 2015 and an Emergency Vehicle Access Plan dated May 22, 2015.

EMERGENCY VEHICLE ACCESS PLAN

- Fleming Street between 44th and 45th Streets is not wide enough to allow emergency vehicles to pass side by side. (20 feet) Widen to 24 feet.
- 42nd Place is not wide enough to allow emergency vehicles to pass by another vehicle when vehicles are parked on the street. Either widen the street, or prohibit parking on one side.
- The design vehicle overhangs private property and in several locations crosses over private property when making turning movements. Turning movements including vehicle overhang must be fully contained within the developed right-of-way (ROW).
- Angled parking spaces prohibit emergency vehicle movements because any vehicle longer than 16.5 feet will project into the driving lane. A small compact 4-door car is approximately 16.5 feet long; a mid-size sedan is approximately 18 feet long; and any SUV or pickup truck is longer with lengths up to 22 feet for a typical extended cab pickup with an 8 foot bed. Parking spaces need to be a minimum of 18 feet deep.

STREET SECTIONS

- Street sections shall be a minimum of 24 feet wide without parking. Alley concept streets may be narrower because emergency can access properties from the fronting streets and maintenance vehicles will not have to access the alleys.
- 45th Street - The 20 foot "stubs" on either end of 45th Street need to be private driveway easements. Both lots have frontage on two other streets, an additional public frontage is not needed.

- Fleming Street –
 - Fleming Street needs to align at 44th Street. The property west of this development will develop at some time in the future and 44th Street will serve as the collector street to provide secondary access to this future development.
 - The Fleming Street ROW is too narrow between 44th and 45th Street. Minimum developed street width shall be 24 feet.
- Angled parking is too short. Angled parking spaces shall be 18 feet in depth, minimum, from the front of the space to the end of the shortest side line of the space.
- Geneva Street – The green alley concept does not work. The entire developed ROW needs a hard driving surface that can sustain a 20K lb. axle load. Change to the Urban Alley concept.

INFRASTRUCTURE

- Water and sewer utilities shall not be placed in alley concept ROW's (Geneva Street and 45th Street). Properties shall be served with sewer and water from the front of the structure including Harborton, Fleming, and 44th Street. This is consistent with the City's policy to serve houses from the fronting street, eliminates the proposed redundant utilities on both sides of the lots, and allows the developer to use the alley concept which is too narrow for maintenance vehicles.
- Storm sewer conveyance system behind inner-loop lots on 41st Circle shall be contained in an outlot or parcel.

ACCESS

- The access for the large commercial property at the south end of Harborton Street is beyond the limits of which Harborton Street can be finished at the edge of the plat. The proposed method for the termination of Harborton should be shown in the plan. It is currently shown at an angle and the street needs to be stubbed in a perpendicular fashion. The large commercial development on the south end of Harborton should be flipped north to south, and the access combined with the commercial properties on the corner of Harborton and College Way. It is the City's policy to combine commercial driveways egressing onto major streets whenever possible.



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MEMO

Wilder Community Master Planned Development

Date: June 15, 2015

To: Derrick Tokos

From: JET Planning and 2G Associates

CC: Bonnie Serkin

Re: Final Submittal for City of Newport Case File #2-PD-15, 3-PD-15, 1-SUB-15

Purpose

This memorandum is intended to summarize changes to the plans and design for the Wilder Planned Development applications made to plans dated June 15, 2015, compared to previous plan sets dated May 20, 2015.

Summary of Changes

1. As a result of removing parking along the cul-de-sac in Phase 3, the total number of on-street parking spaces has changed which impacts the number of ADUs permitted at the approved ratio of 1 ADU per 2 on-street parking spaces:

	On-Street Parking Spaces Available	Maximum ADUs Allowed
Phase 2D	13	6
Phase 3	18 15	9 7
Phase 4	33	16

The number of on-street parking spaces and allowed ADUs has not changes for Phase 2D or Phase 4. (See Sheet 3.)

2. For the Final Development Plan, the number of each lot type will vary slightly to account for the change from public ROW to private driveways in Phase 2D, as follows:

Estimated Range of Development (Final Dev. Plan)	
Village Lots (<4,600 sq. ft.)	18 16 units (12 complete)
Classic Lots (4,601-6,200 sq. ft.)	4-6 units (2 complete)
Total Dwelling Units	125 units

No changes are needed to the range of development for the Preliminary Development Plan to accommodate these changes because the number of lots is within the approved range. The total range of development and total dwelling units remains the same for the Final Development Plan.

3. No changes to roadway types are proposed, however, the exact cross-sections are proposed to change as follows:

Street	Phase	Kit of Parts Section	Dimensions
41 st Circle	Phase 4	Hillside Street	35-foot right-of-way 16-foot travel path One 7-foot parking lane **No change.
42 nd Place	Phase 3	Neighborhood Local Street	48-foot right-of-way 22-foot travel width Two 7-foot parking lanes **Widened with this submittal consistent with Neighborhood Local Roads constructed in Phase 1.
45 th Street	Phase 2D	Green Alley	20-foot right-of-way Two 4-foot Public Utility Easements **Alley will be hardsurfaced and easements will provide additional flexibility for utility installation and maintenance.
46 th Street	Phase 2B	Village Center Road, modified	55-foot right-of-way 24-foot travel width One 19.5-foot angled parking area **Travel width was widened to 24 feet and parking area was widened to ensure stalls met minimum 18-ft depth.
Ellis Street	Phase 2B	Village Center Road, modified	50-foot right-of-way 24-foot travel width One 19.5-foot angled parking area **Travel width was widened to 24 feet and parking area was widened to ensure stalls met minimum 18-ft depth.
Fleming Street	Phases 2C, 2D	Woonerf	Between 44 th and 45 th : 22-foot right-of-way and travel width Between 45 th and 46 th : 30-foot right-of-way 22-foot travel width One 7-foot parking lane One 4-foot Public Utility Easement the full length ** PUE added.

Street	Phase	Kit of Parts Section	Dimensions
Geneva Street	Phase 2C	Green Alley	20-foot right-of-way Two 4-foot Public Utility Easements **Alley will be hardsurfaced and easements will provide additional flexibility for utility installation and maintenance.

The modifications to the approved Kit of Parts cross-sections are allowed per the condition of approval for previous development, “The applicant shall be permitted to make adjustments to the fire apparatus access roads and turnarounds as necessary to comply with the Fire Department review.” (See Final Order for 1-PD-09, 2-PD-09 and 1-SUB-09.)

4. Two stormwater alternates are proposed for Phase 4 to accommodate a wetland alternate and a mitigation alternate. The tract encompassing the wetland to provide maintenance access required by the city is shown as an option Tract K. (See Sheet 12, Note 1 and Sheet 17, Note 1.)
5. The southern stub of Harborton has been revised to terminate at a 90-degree angle at the edge of the project area. Harborton continues as a gravel road to the south.
6. Access for the parcels in Phases 2E and 2F is shown as a shared driveway. (See Sheet 6.) Final access design will be revised as appropriate to meet the access requirements onto Harborton, access needs of proposed uses, and final lotting patterns.
7. Private driveways are proposed for Lots 1 and 6 in Phase 2D to eliminate street stubs along 45th Street. 45th Street has been shortened and now connects from Geneva Street to Fleming Street. (See Sheet 5.)
8. A hard paved surface is proposed for the alleys in Phase 2C—45th Street and Geneva Street—in lieu of grasscrete or pervious surface as detailed in the Kit of Parts.
9. All angled parking on 45th Street, 46th Street and Ellis Street has been adjusted to accommodate minimum stall dimensions of 9 feet by 18 feet.
10. Public Utility Easements will be provided along alleys and woonerf in Phases 2C and 2D. (See Note 2 on Sheet 9.) Exact locations will be determined in consultation with utility providers during final engineering and construction to meet the specific spacing needs for utilities, and recorded on final plat.
11. For fire access, the following changes have been made:
 - The radius of the cul-de-sac on 42nd Place was widened to 45 feet. (See Sheet 4.)
 - The minimum turning radius for corners along alleys in Phase 2C was increased to 30 feet. (See Sheet 9.)



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MEMO

Wilder Community Master Planned Development

Date: June 11, 2015

To: Derrick Tokos
Tim Gross
Rob Murphy

From: JET Planning and 2G Associates

CC: Bonnie Serkin

Re: City of Newport Case File #2-PD-15, 3-PD-15, 1-SUB-15

Purpose

This memorandum is meant to address comments we received on June 3, 2015 from Tim Gross care of Derrick Tokos regarding the review of the Wilder Planned Use Submittal dated May 20, 2015. Our intention is to map out proposed revisions to the plans to address comments in light of previous approvals, city standards, and other relevant context, and demonstrate how the Wilder development will meet applicable standards and address safety and access concerns.

Wilder Project Context and Previous Approvals

Wilder was conceived of and planned as a cohesive community, built around neo-traditional streets and building types that were unique compared to the rest of Newport. The previously approved Kit of Parts essentially create an alternate set of street and utility standards that replace the standards in NMC Chapter 13. As noted in NMC 13.05.105.A, the subdivision standards may be modified for a planned development, which is what has been previously approved and is proposed for this round of development.

The first version of the Kit of Parts, which illustrates these street components, was introduced and approved as a concept for the development with 1-PD-07, including streets with narrower widths.

Safety has always been a priority. The issue of narrow streets and fire access was a central concern during the approval process for 1-PD-09, 2-PD-09 and 1-SUB-09, which established preliminary and final development plan and tentative subdivision plan for most of Wilder north of College Way and west of Harborton. The minutes for those meetings reflect testimony from the applicant and city staff about road width. There was discussion about specific clear path widths that would guarantee adequate fire access, and ultimately the condition that was approved and carried forward with subsequent approvals provided for ongoing conversations with the Fire Department to modify streets as needed for safety. The condition that was imposed read:

"The City of Newport Fire Department shall review and approve the proposed fire apparatus access roads and turnabouts prior to final subdivision plat approval for conformance with the Uniform Fire Code approved by the Newport Fire Department. The applicant shall be permitted to make adjustments to the fire apparatus access roads and turnarounds as necessary to comply with the Fire Department review."

Wilder has successfully worked with the Fire Department to implement the Kit of Part sections in Phase 1 of Wilder, between 43rd and 44th Streets, with modifications for safe access.

In 2010, Wilder received approval for modifications to the development plan and the tentative plat for Phase 1 (which had been partially built and final platted by that point) in 1-PD-10, 2-PD-10 and 1-SUB-10. At that time, 42nd, 43rd, 44th, Geneva, Fleming and Ellis Streets were found adequate. The circulation plan was approved for Phase 1 which showed which street type from the Kit of Parts would be used in each phase. In response to NMC 13.05.015.B, staff found that reduction to minimum right-of-way and paved width would be approved consistent with the Kit of Parts "for each unique street type that could be located within the master plan site," consistent with the circulation plan.

The circulation plan (dated 2.2.2009, and attached here) approved in 2010 showed Neighborhood Local streets for 42nd, 43rd, and 44th Streets, and a Hillside Street in Phase 4, now proposed as 41st Circle.

The roadway types and utilities proposed with this round of approvals is intended to be consistent with the approved Kit of Parts, with modifications as needed and required by the previous condition of approval to work with the Fire Department.

Overview of Proposed Improvements: For reference, streets proposed with the submittal are listed here.

Street	Phase	Kit of Parts Section	Dimensions
41 st Circle	Phase 4	Hillside Street, consistent with the circulation diagram approved with 1-PD-10, 2-PD-10, 1-SUB-10, to be modified as needed based on Fire Department access needs	35-foot right-of-way 16-foot travel path One 7-foot parking lane
42 nd Place	Phase 3	Neighborhood Local Street consistent with the circulation diagram approved in 2010 and modified to meet fire access needs similar to the Neighborhood Local Roads on 43 rd and 44 th Streets	48-foot right-of-way 22-foot travel width Two 7-foot parking lanes

Street	Phase	Kit of Parts Section	Dimensions
45 th Street	Phase 2D	Green Alley, to be hard surfaced rather than grasscrete or pervious pavement	20-foot right-of-way Two 4-foot Public Utility Easements
46 th Street	Phase 2B	Village Center Road, modified	55-foot right-of-way 24-foot travel width One 19.5-foot angled parking area
Ellis Street	Phase 2B	Village Center Road, modified	50-foot right-of-way 24-foot travel width One 19.5-foot angled parking area
Fleming Street	Phases 2C, 2D	Woonerf, continuing the approved and constructed Woonerf section along Fleming in Phase 1	Between 44 th and 45 th : 22-foot right-of-way and travel width Between 45 th and 46 th : 30-foot right-of-way 22-foot travel width One 7-foot parking lane One 4-foot Public Utility Easement the full length
Geneva Street	Phase 2C	Green Alley, to be hard surfaced rather than grasscrete or pervious pavement	20-foot right-of-way Two 4-foot Public Utility Easements

Review Responses: Below we have listed the City's comments and explained how they have been addressed in bold.

EMERGENCY VEHICLE ACCESS PLAN

1. Fleming Street between 44th and 45th Streets is not wide enough to allow emergency vehicles to pass side by side. (20 feet) Widen to 24 feet.
This section of Fleming Street is proposed as 22 feet wide with no parking on either side. In a previous meeting when our team proposed a 20-foot wide section, Tim Gross requested a 22-foot width to allow emergency vehicles to pass more easily. The 22-foot width exceeds the width of the previously approved and constructed Woonerf section, consistent with the Kit of Parts, used for Fleming Street in Phase 1. A wider cross-section would undermine the low-speed, shared space concept for the Woonerf.
2. 42nd Place is not wide enough to allow emergency vehicles to pass by another vehicle when vehicles are parked on the street. Either widen the street, or prohibit parking on one side.

42nd Place is proposed as a Neighborhood Local Street based on the approved Kit of Parts section. In Phase 1, we successfully worked with the Fire Department to implement the Neighborhood Local section with modifications to allow for adequate fire access.

Consistent with the modified Neighborhood Local section approved and constructed in Phase 1, 42nd Place will be widened from 30 feet of roadway width to 36 feet of roadway width. This will provide for 7-foot parking areas on both sides and 22 feet of roadway width. This also means the public right-of-way will be increased from 42 feet to 48 feet. The cul-de-sac will be enlarged to provide a hard-surfaced clear area with a minimum 48-foot radius width per the International/Oregon Fire Code.

3. The design vehicle overhangs private property and in several locations crosses over private property when making turning movements. Turning movements including vehicle overhang must be fully contained within the developed right-of-way (ROW). **The right-of-way will be modified at corners on all alleys to accommodate a minimum turning radius of 30 feet. Additionally, the cul-de-sac on 42nd Place will be expanded to a 48-foot radius. The revisions will accommodate a fire truck such that all turning movements can be made within the hard-surfaced clear areas of the right-of-way. With these and other modifications proposed to roadway widths, we can show that the overhangs of design vehicles will not cross over private property and all turning movements will be contained within the right-of-way.**

4. Angled parking spaces prohibit emergency vehicle movements because any vehicle longer than 16.5 feet will project into the driving lane. A small compact 4-door car is approximately 16.5 feet long; a mid-size sedan is approximately 18 feet long; and any SUV or pickup truck is longer with lengths up to 22 feet for a typical extended cab pickup with an 8 foot bed. Parking spaces need to be a minimum of 18 feet deep. **The dimensions for angled parking will be modified to accommodate the minimum 18-foot depth required:**
 - **The cross sections on 46th Street and Ellis Street have been modified to increase the angled parking cross section width to 19.5 feet, which extends the effective parking stall length to over 18 feet to meet this requirement.**
 - **The angled parking on 45th Street within Phase 2D has been extended to provide a minimum stall depth of 18 feet.**

STREET SECTIONS

5. Street sections shall be a minimum of 24 feet wide without parking. Alley concept streets may be narrower because emergency can access properties from the fronting streets and maintenance vehicles will not have to access the alleys.

As discussed in the introductory context section and detailed in the table of proposed street types, alternative cross sections in the Kit of Parts have been approved for use throughout Wilder with any modifications required for fire access, and some of these sections include a clear width of less than 24 feet. The following streets are proposed, roughly from north to south:

- **41st Circle:** A 16-foot travel path within a 35-foot right-of-way is proposed, consistent with the Hillside Street cross-section approved in the Kit of Parts in 1-PD-07, and the Kit of Part revisions and circulation diagram approved with 1-PD-10, 2-PD-10, 1-SUB-10. We will work with the Fire Department during final plat to incorporate periodic no-parking areas or other techniques that allow the queuing street to function effectively for fire access.
 - **42nd Place:** Proposed as a Neighborhood Local Street consistent with the Kit of Parts and circulation diagram approved in 2010 and modified to meet fire access needs similar to the Neighborhood Local Roads on 43rd and 44th Streets; provides a 22-foot travel width within a 48-foot right-of-way.
 - **45th Street:** Proposed as a Green Alley with 20-foot paved right-of-way width, to be hard surfaced rather than grasscrete or pervious pavement. Two 4-foot Public Utility Easements will be granted along the alley to improve maintenance access, one on each side.
 - **46th Street:** Proposed as a modified Village Center Road section, which will provide a 24-foot travel width within a 55-foot right-of-way.
 - **Ellis Street:** Proposed as a modified Village Center Road section, which will provide a 24-foot travel width within a 50-foot right-of-way.
 - **Fleming Street:** Proposed as a Woonerf section continuing the approved and constructed Woonerf section along Fleming Street in Phase 1. The Woonerf will provide a continuous 22-foot travel width between 44th and 46th Streets, with an expanded right-of-way 30 feet wide between 45th and 46th Streets to accommodate parking. Additionally, a 4-foot Public Utility Easement will be granted along the full length of the Woonerf.
 - **Geneva Street:** Proposed as a Green Alley with 20-foot paved right-of-way width, to be hard surfaced rather than grasscrete or pervious pavement. Two 4-foot Public Utility Easement will be granted along the alley to improve maintenance access, one on each side.
6. 45th Street - The 20 foot “stubs” on either end of 45th Street need to be private driveway easements. Both lots have frontage on two other streets, an additional public frontage is not needed.

These stubs have been removed and will be shown as private drives. Access easements will be provided where necessary.

7. Fleming Street –

- 7a. Fleming Street needs to align at 44th Street. The property west of this development will develop at some time in the future and 44th Street will serve as the collector street to provide secondary access to this future development. **Fleming Street as proposed qualifies as a minor street and is not required to be aligned at 44th Street, as stated in the City's staff report dated May 26, 2015. NMC 13.05.005.J.5 defines a minor street as "A street intended primarily for access to abutting properties," and NMC 13.05.015.B requires a 50-foot right-of-way and 36-foot paved width for a minor street. Fleming Street is proposed as a woonerf with a 22- to 30-foot cross-section, less than the minor street width, and only provides access to abutting residential properties, so it meets the definition of a minor street and is exempt from this standard.**

Because 44th and Fleming Streets are neighborhood streets, low traffic volumes will not create a hazard at this intersection. 44th Street was built as a neighborhood street rather than a collector, with a 48-foot right-of-way rather than a 60-foot right-of-way typically required for a collector per NMC 13.05.015.B. Additionally, there is a private tract of land at the western end of 44th Street that would prevent a future connection to the college campus. If a secondary access to the college is desired in the future, it can and should be provided at 46th Street instead of 44th Street.

Additionally, this offset is consistent with the Woonerf-style street design which is intended to provide a low-speed, shared travel space for all modes. The Woonerf design incorporates offsets as a traffic calming feature. In Phase 1, offsets were created with 8-foot wide bioswales on alternating sides of the street. The 11.5-foot offset proposed at the Fleming and 44th Street intersection would be of a similar scale to the existing, approved street design.

- 7b. The Fleming Street ROW is too narrow between 44th and 45th Street. Minimum developed street width shall be 24 feet.

Fleming Street is proposed at 22 feet; see response above in Emergency Vehicle Access Plan.

8. Angled parking is too short. Angled parking spaces shall be 18 feet in depth, minimum, from the front of the space to the end of the shortest side line of the space. **All angled parking spaces will be modified to meet minimum depth of 18 feet; see response above in Emergency Vehicle Access Plan.**

9. Geneva Street – The green alley concept does not work. The entire developed ROW needs a hard driving surface that can sustain a 20K lb. axle load. Change to the Urban Alley concept.

All alleys within Phase 2 will be developed with a 20-foot wide hard driving surface; pervious pavement will not be used. This modification to the Green Alley is consistent with the previous modifications made in Phase 1 to meet fire access requirements.

INFRASTRUCTURE

10. Water and sewer utilities shall not be placed in alley concept ROW's (Geneva Street and 45th Street). Properties shall be served with sewer and water from the front of the structure including Harborton, Fleming, and 44th Street. This is consistent with the City's policy to serve houses from the fronting street, eliminates the proposed redundant utilities on both sides of the lots, and allows the developer to use the alley concept which is too narrow for maintenance vehicles.

The original design intent of the sanitary and water facilities constructed within Harborton Street was to service areas of development at limited connection points. This is evident by the stub-outs provided along Harborton Street. The design intent was reflected in the original approved Wilder Community Master Plan Development Submittal and is consistent with Phase 1 construction. The proposed design meets this original design intent, to serve neighborhoods with internal connections along alleys and local streets rather than direct connections to Harborton.

In addition, keeping with the proposed utility design will:

1. Not require disturbance to Harborton Street during construction.
2. Not require street cuts, trenching, and patch backs along the multi-use path and Harborton Street.
3. Allow for the sanitary sewer main lines to be designed with steeper slopes and shallower depths.
4. Not create landscaping areas over private sewer laterals which will reduce the risk of root intrusion and subsequent sewer failure.
5. Reduce the total length of sanitary sewer pipe and minimize individual lot lateral lengths and depths.
6. Create looping, additional redundancy, and greater flexibility in the water system.

Public Utility Easements 4 feet wide will be provided along both sides of the alleys in Phase 2, which, combined with the 20-foot alley width, will provide adequate maintenance access. A 4-foot easement will also be provided along the Fleming Street Woonerf.

The master plan, including conceptual utility plans, previously approved creates alternative standards for Wilder, consistent with NMC 13.05.105.A. The alleys in Wilder provide a unique opportunity for utility access not found elsewhere in Newport, where the only feasible connection point is from the main fronting road, and were approved as an alternate standard for the development.

11. Storm sewer conveyance system behind inner-loop lots on 41st Circle shall be contained in an outlot or parcel.

In the Wetland Alternate for Phase 4, a tract will be provided to the City to access and maintain the wetland and associated facilities. This tract will meet or exceed the 12-foot wide minimum maintenance access requirement in NMC 13.05.025.A. to ensure access for future maintenance needs. The exact dimensions and location of the tract will be discussed with the City as part of the final plat process. The Mitigation Alternate for Phase 4 would not provide a tract within the inner-loop lots because the wetland would be filled; a tract or easement would only be needed at the southern end of the phase where the City may need to access stormwater outfall facilities outside of the public right-of-way.

ACCESS

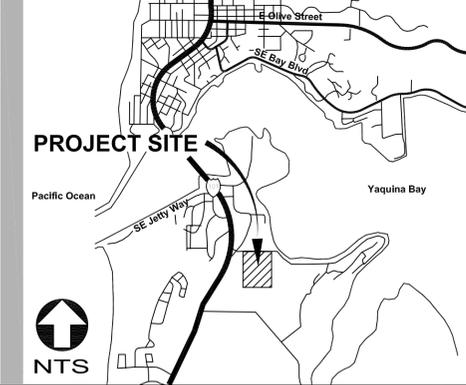
12. The access for the large commercial property at the south end of Harborton Street is beyond the limits of which Harborton Street can be finished at the edge of the plat. The proposed method for the termination of Harborton should be shown in the plan. It is currently shown at an angle and the street needs to be stubbed in a perpendicular fashion. The large commercial development on the south end of Harborton should be flipped north to south, and the access combined with the commercial properties on the corner of Harborton and College Way. It is the City's policy to combine commercial driveways egressing onto major streets whenever possible.

The roadway and right-of-way will be modified to provide a street that ends at a 90-degree angle. In addition, the proposed access point to Phase 2F has been relocated to provide a potential shared access point with Phase 2E thereby limiting access to Harborton Street. The site layout designs for Phase 2E and 2F are preliminary at this stage, as appropriate for a planning submittal. The final site layout for Phases 2F and 2E, including driveway locations, will be developed at the time of final plat. Final design will incorporate principles of shared access to minimize access onto Harborton; continuous building frontage, to prevent any "missing tooth gaps" where driveways create a break in the storefronts; and lotting patterns to serve the mix of future uses and development.

WILDER

COMMUNITY MASTER DEVELOPMENT PLAN APPLICATIONS CITY OF NEWPORT, OREGON

VICINITY MAP:



SITE DATA:

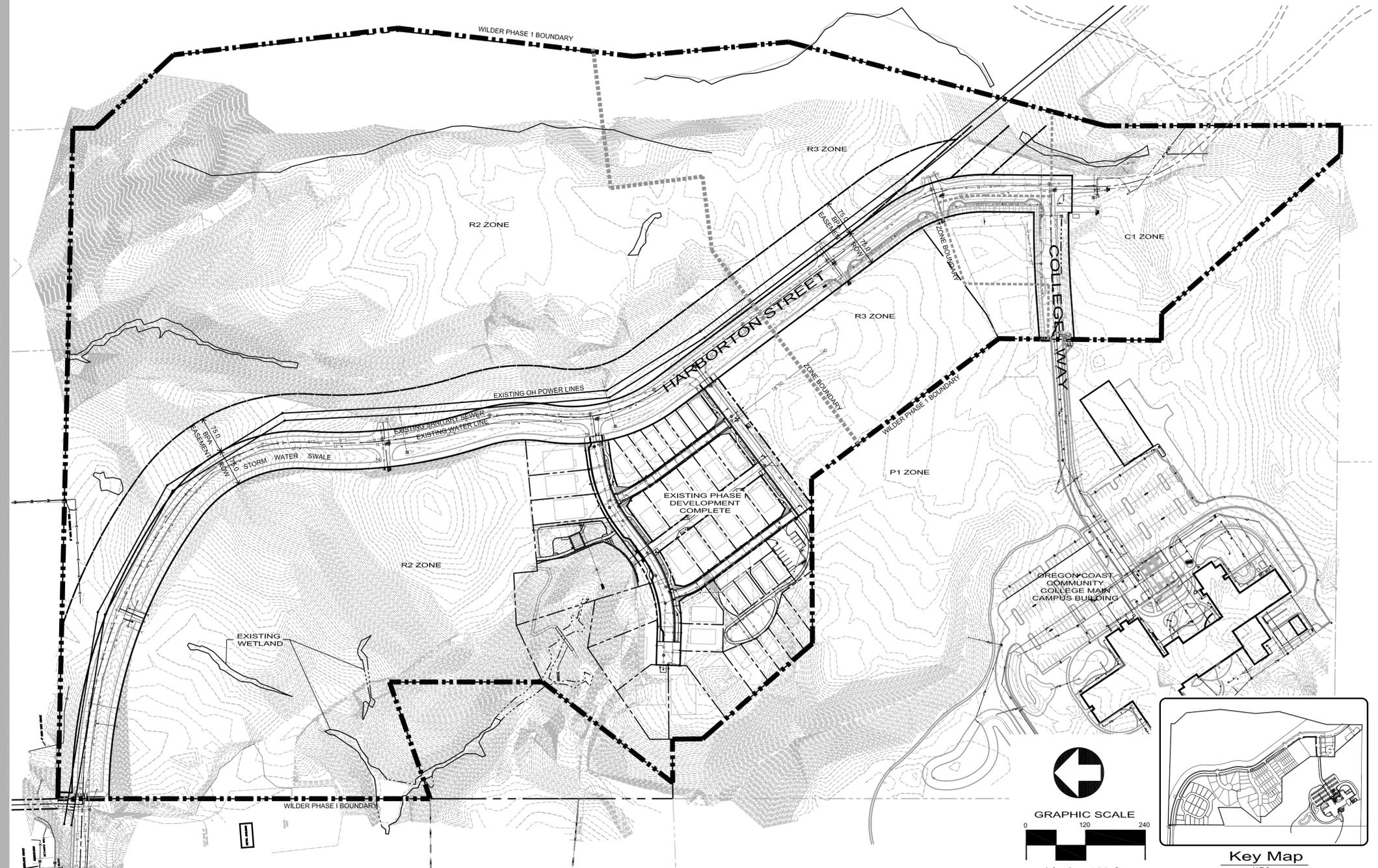
LOCATION
South Beach - Wilder Master Plan Area

LEGAL DESCRIPTION
Map and Tax Lot 11-11-20-00-00100-00
Map and Tax Lot 11-11-21-00-00700-00
Map and Tax Lot 11-11-21-00-01300-00

AREA
Approximate 62 Acres

ZONING
R-2 (Medium Density Single Family)
R-3 (Medium Density Multi-Family)
C-1 (Retail + Service Commercial)

EXISTING CONDITIONS PLAN:



TEAM MEMBERS:

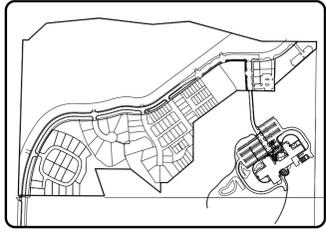
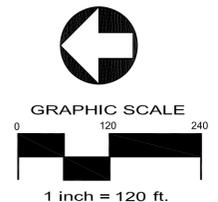
Developer/Builder
Landwaves, Inc.
PO Box 12085
Portland, OR 97212

Civil Engineer
2G Associates, Inc.
Fred Garmire
400 Columbia Street, Suite 160
Vancouver, WA 98660
503-939-8750

Planner
JET Planning, LLC
Elizabeth Decker
215 W. 4th Street Ste. 209
Vancouver, WA 98660

Sheet List Table

Sheet Number	Sheet Title
01	EXISTING CONDITIONS PLAN
02	PHASING PLAN
03	FINAL DEVELOPMENT PLAN MASTER PLAN
04	FINAL DEVELOPMENT PLAN
05	FINAL DEVELOPMENT PLAN
06	FINAL DEVELOPMENT PLAN
07	TENTATIVE SUBDIVISION PLAT MASTER PLAN
08	TENTATIVE SUBDIVISION PLAT
09	TENTATIVE SUBDIVISION PLAT
10	TENTATIVE SUBDIVISION PLAT
11	GRADING MASTER PLAN
12	GRADING PLAN
13	GRADING PLAN
14	GRADING PLAN
15	GRADING PLAN
16	UTILITY MASTER PLAN
17	UTILITY PLAN
18	UTILITY PLAN
19	UTILITY PLAN



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2G ASSOCIATES

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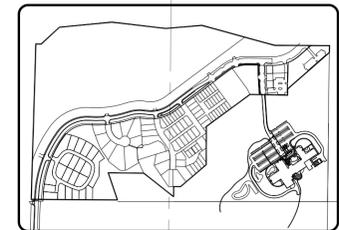
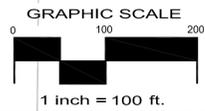
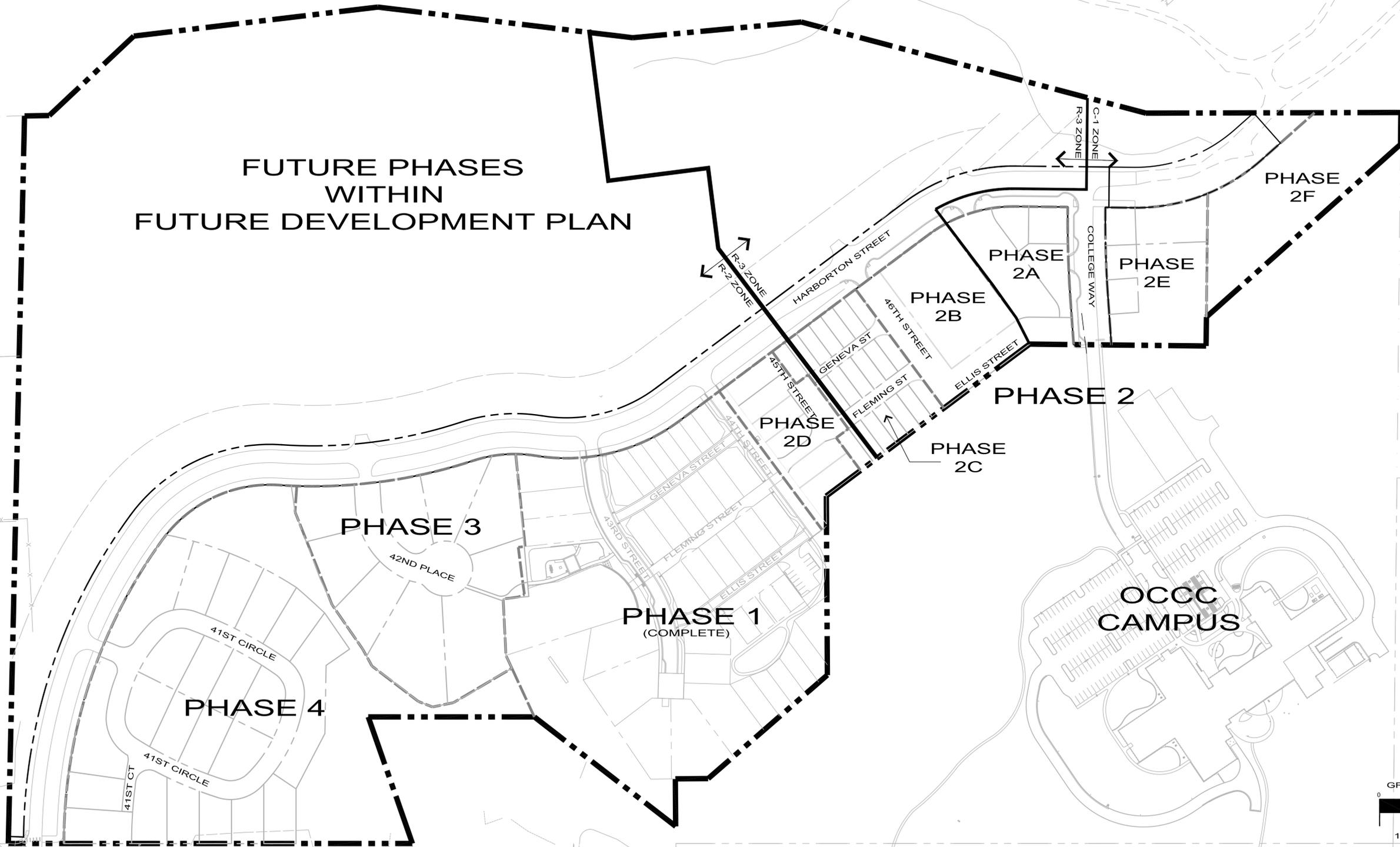
JOB NO.: LAN005
DATE: JUNE 15, 2015
APPLICATION: Community Master Development Plan Applications

WILDER EXISTING CONDITIONS PLAN

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FUTURE PHASES WITHIN FUTURE DEVELOPMENT PLAN



Key Map
N.T.S.

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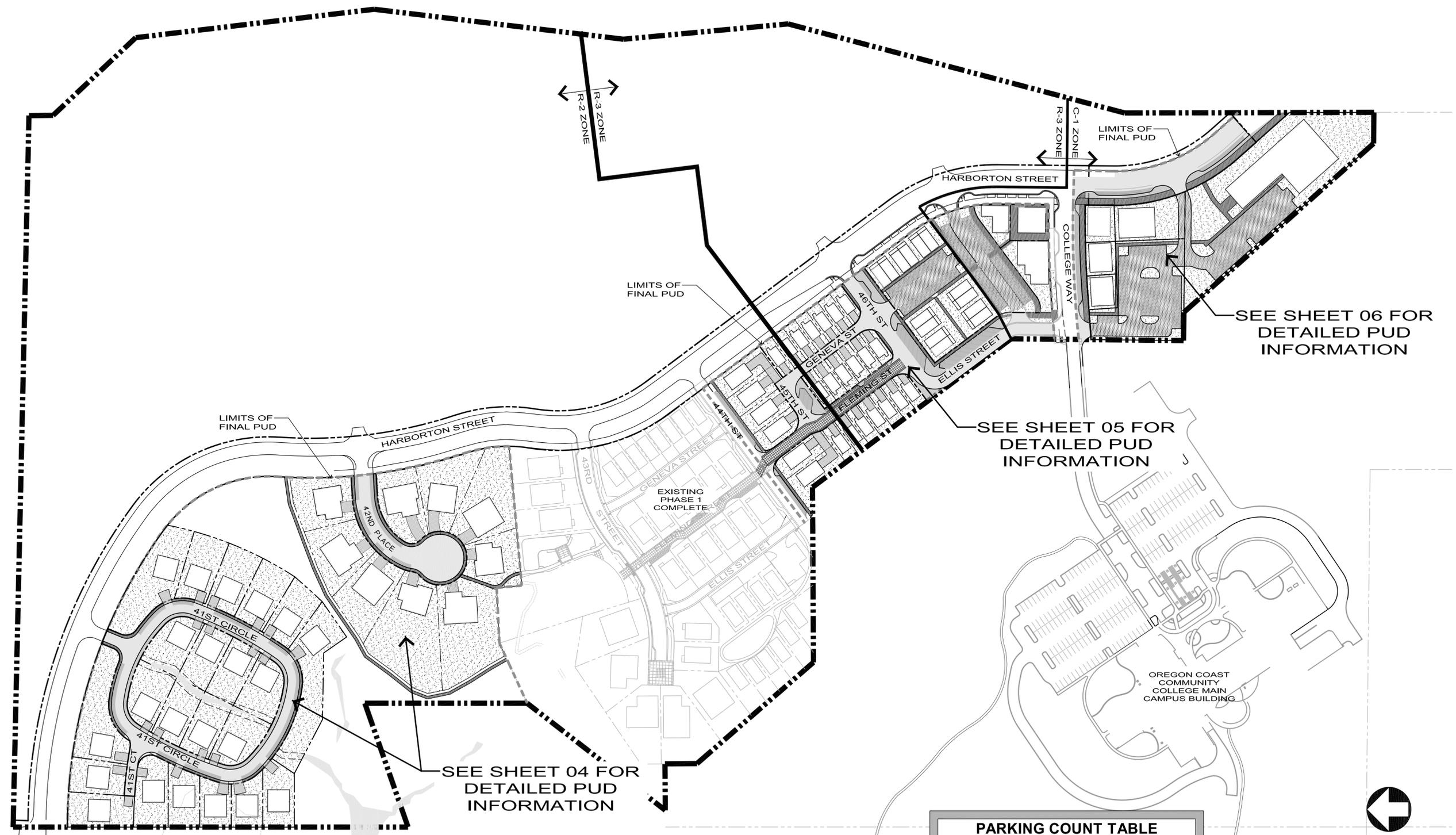
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DATE:	JUNE 15, 2015
APPLICATION:	Community Master Development Plan Applications

WILDER PHASING PLAN

SHEET

02

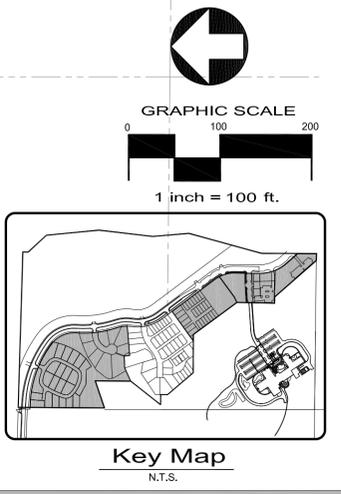
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AREA TABLE	
SYMBOL	DESCRIPTION
	BUILDINGS
	OPEN SPACE
	PUBLIC PARKING
	PRIVATE PARKING
	SIDEWALK
	PUBLIC STREET
	PRIVATE STREET

PARKING COUNT TABLE		
	PRIVATE	PUBLIC
Phase 2A	39	9
Phase 2B	28	18
Phase 2C	20	5
Phase 2D	11	13
Phase 2E	51	10
Phase 2F	39	4
Phase 3	18	15
Phase 4	44	33
(DEVELOPMENT PLAN TOTAL)	250	107

- PARKING NOTES:**
- UNLESS NOTED OTHERWISE, TYPICAL PARKING STALLS ARE 9' WIDE BY 18' DEEP.
 - UNLESS NOTED OTHERWISE TYPICAL PARALLEL PARKING STALLS ARE 7' WIDE AND MINIMUM 24' LONG.
 - WHEN COUNTING PRIVATE PARKING SPACES IN RESIDENTIAL AREAS 1 PARKING SPACE IS ASSUMED FOR EACH FLEX LOT AND 2 PARKING SPACES ARE ASSUMED FOR EACH OTHER LOT TYPE.
 - PARKING AREAS ARE DIMENSIONED AND IDENTIFIED ON SHEETS 4 THROUGH 6.



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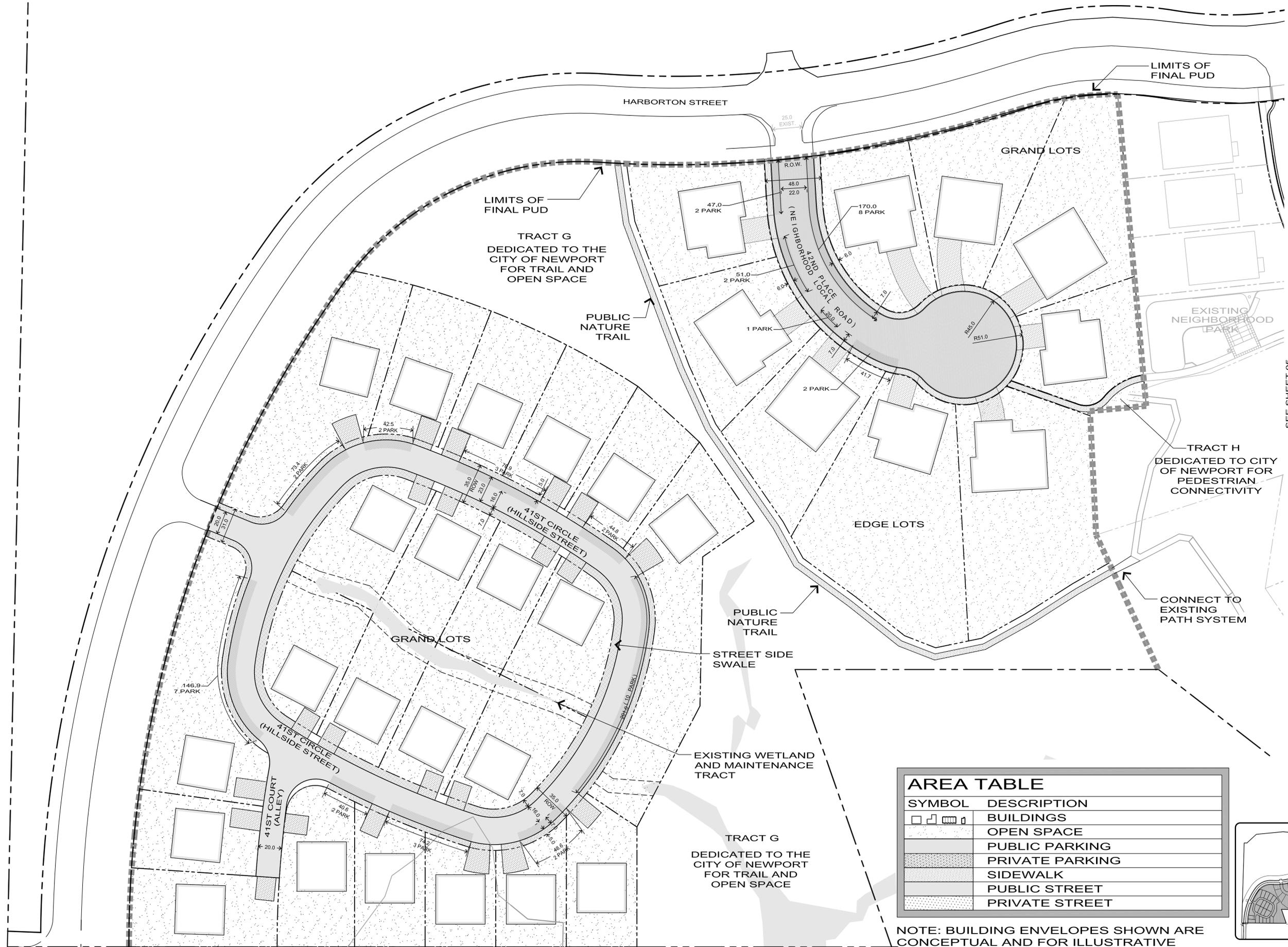
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LAN005
 JUNE 15, 2015
 APPLICATION: Community Master Development Plan
 Applications

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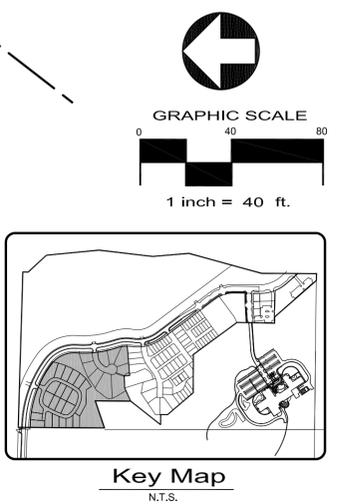
2G ASSOCIATES

WILDER
 FINAL DEVELOPMENT PLAN MASTER PLAN
 SHEET
 03



AREA TABLE	
SYMBOL	DESCRIPTION
	BUILDINGS
	OPEN SPACE
	PUBLIC PARKING
	PRIVATE PARKING
	SIDEWALK
	PUBLIC STREET
	PRIVATE STREET

NOTE: BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.



SEE SHEET 05

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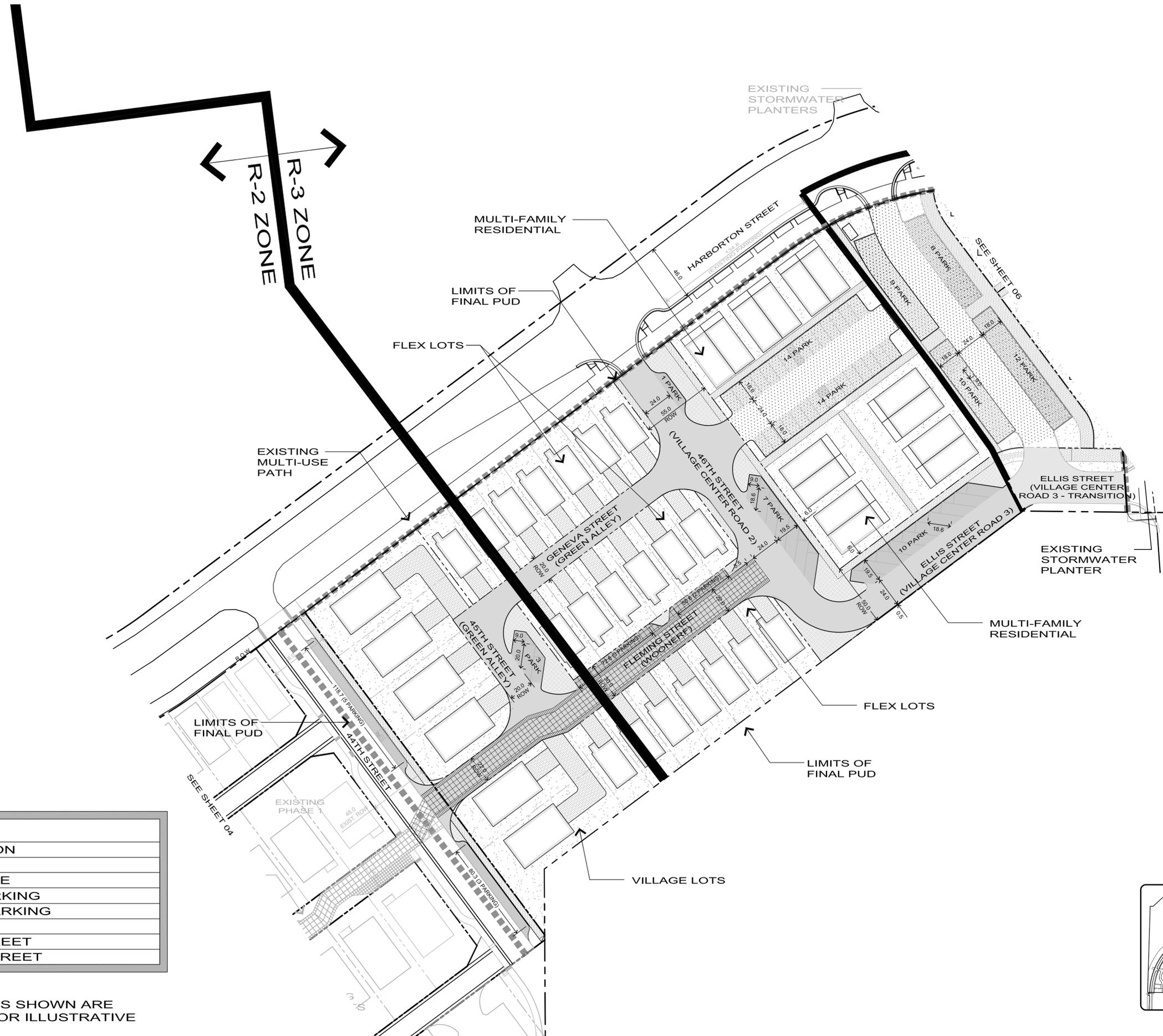
LAN005
 DATE: JUNE 15, 2015
 APPLICATION: Community Master Development Plan
 Applications

400 COLUMBIA STREET
 SUITE 160
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 VANCOUVER, WA 98666
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2G ASSOCIATES

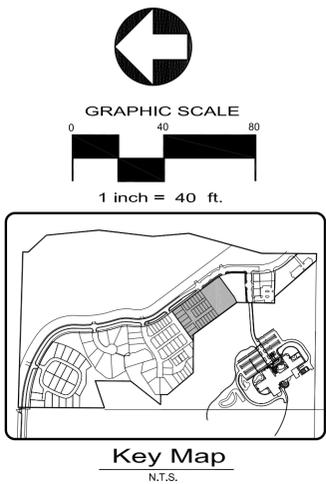
WILDER
 FINAL DEVELOPMENT PLAN
 Phase 3 and 4

SHEET
04



AREA TABLE	
SYMBOL	DESCRIPTION
	BUILDINGS
	OPEN SPACE
	PUBLIC PARKING
	PRIVATE PARKING
	SIDEWALK
	PUBLIC STREET
	PRIVATE STREET

NOTES:
 1. BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.



LAN005
 JUNE 15, 2015
 APPLICATION: Community Master Development Plan Applications

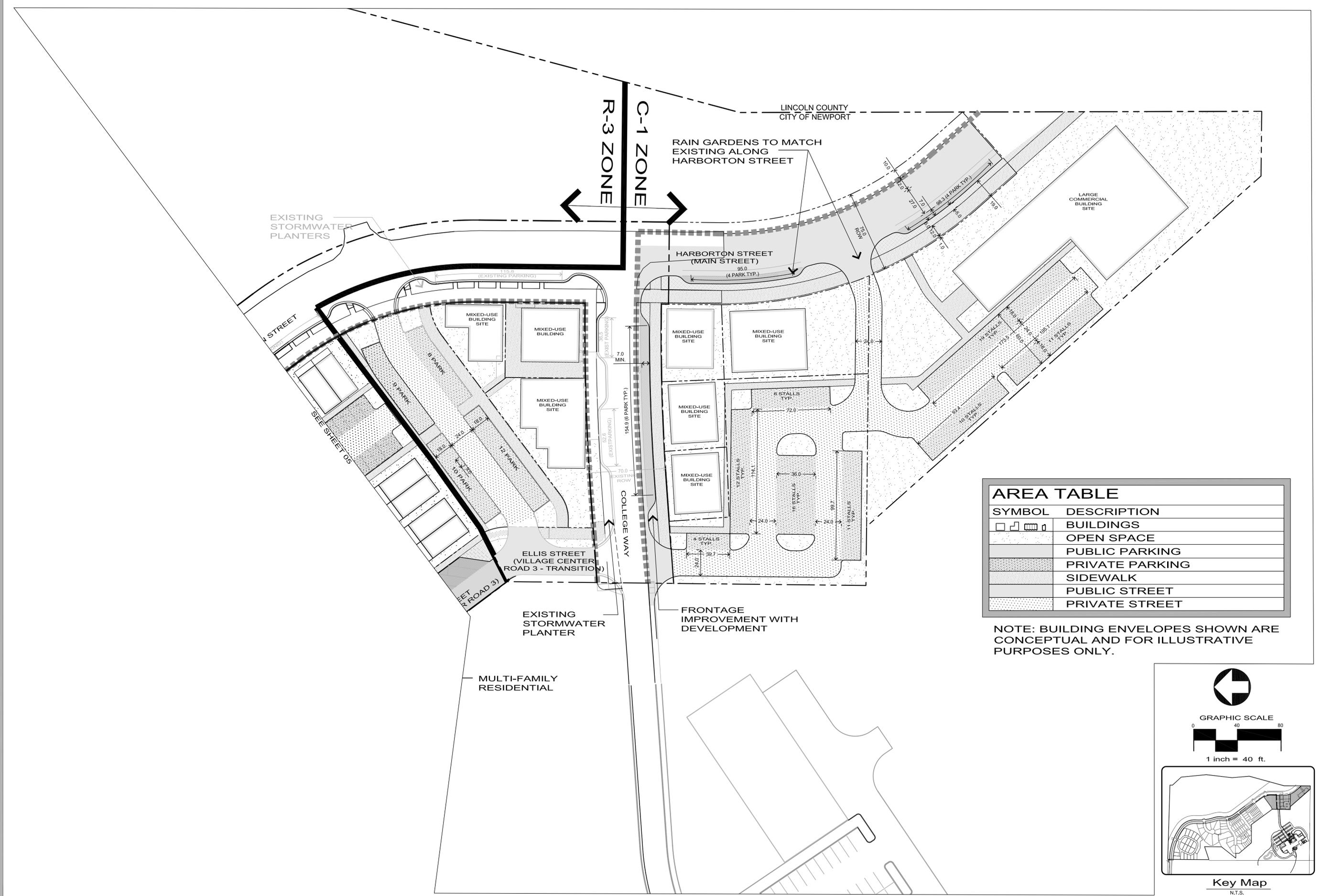
WILDER
FINAL DEVELOPMENT PLAN
 Phase 2B 2C and 2D
 SHEET
05



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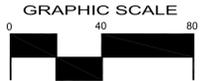
JET Planning, LLC
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 Vancouver, WA 98660
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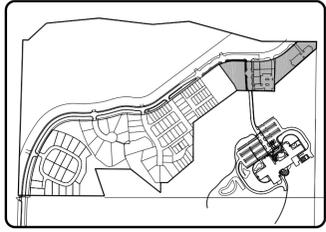
400 COLUMBIA STREET
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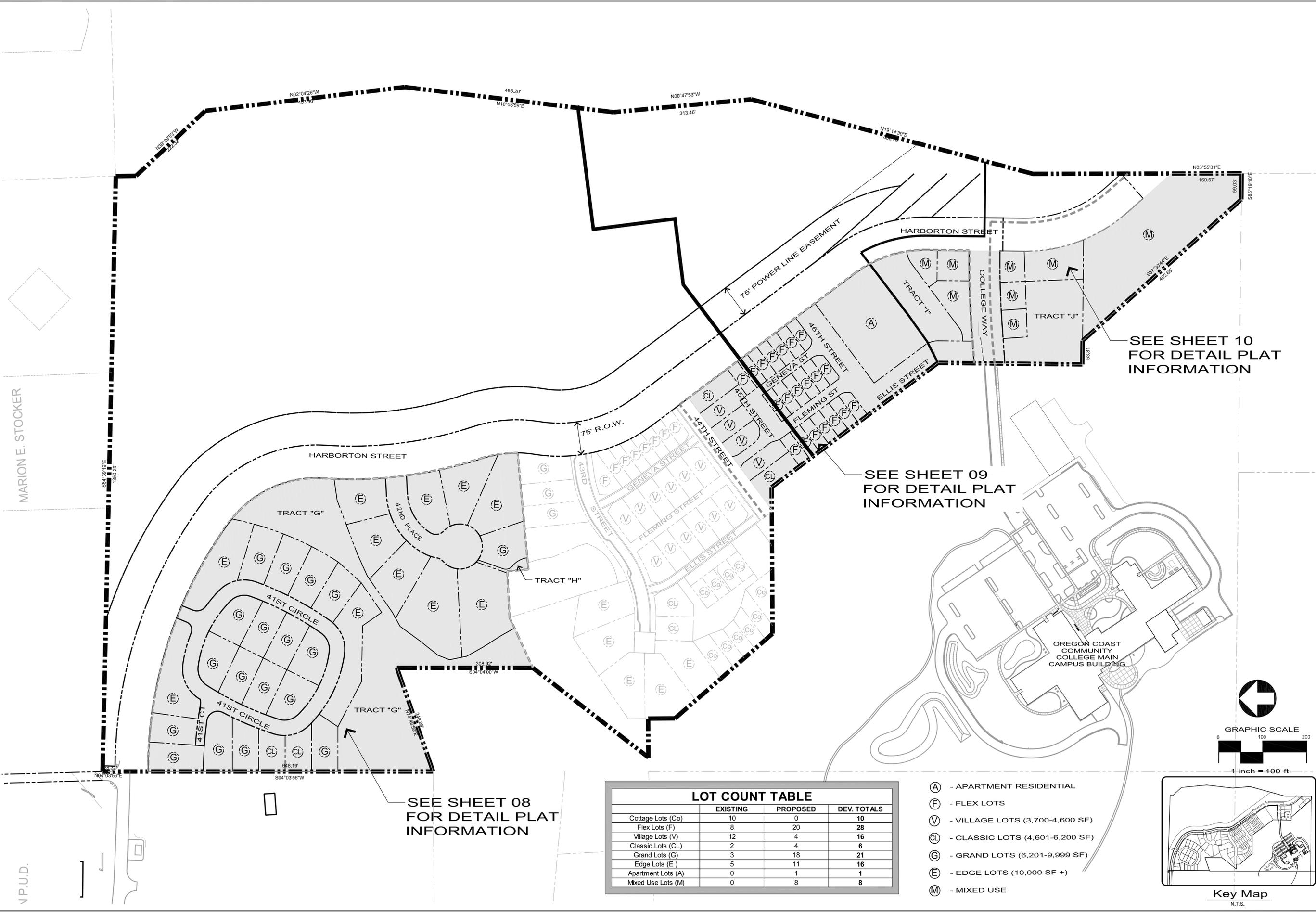
AREA TABLE	
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	BUILDINGS
	OPEN SPACE
	PUBLIC PARKING
	PRIVATE PARKING
	SIDEWALK
	PUBLIC STREET
	PRIVATE STREET

NOTE: BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.


 GRAPHIC SCALE

 1 inch = 40 ft.


 Key Map
 N.T.S.

Jun 15, 2015 - 3:56pm
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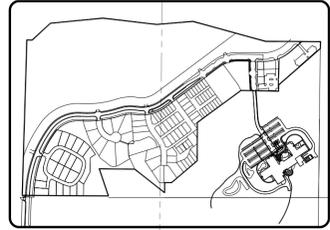
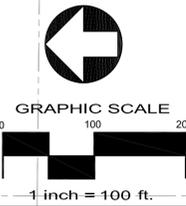
SEE SHEET 08
 FOR DETAIL PLAT
 INFORMATION

SEE SHEET 09
 FOR DETAIL PLAT
 INFORMATION

SEE SHEET 10
 FOR DETAIL PLAT
 INFORMATION

LOT COUNT TABLE			
	EXISTING	PROPOSED	DEV. TOTALS
Cottage Lots (Co)	10	0	10
Flex Lots (F)	8	20	28
Village Lots (V)	12	4	16
Classic Lots (CL)	2	4	6
Grand Lots (G)	3	18	21
Edge Lots (E)	5	11	16
Apartment Lots (A)	0	1	1
Mixed Use Lots (M)	0	8	8

- (A) - APARTMENT RESIDENTIAL
- (F) - FLEX LOTS
- (V) - VILLAGE LOTS (3,700-4,600 SF)
- (CL) - CLASSIC LOTS (4,601-6,200 SF)
- (G) - GRAND LOTS (6,201-9,999 SF)
- (E) - EDGE LOTS (10,000 SF +)
- (M) - MIXED USE



Key Map
 N.T.S.

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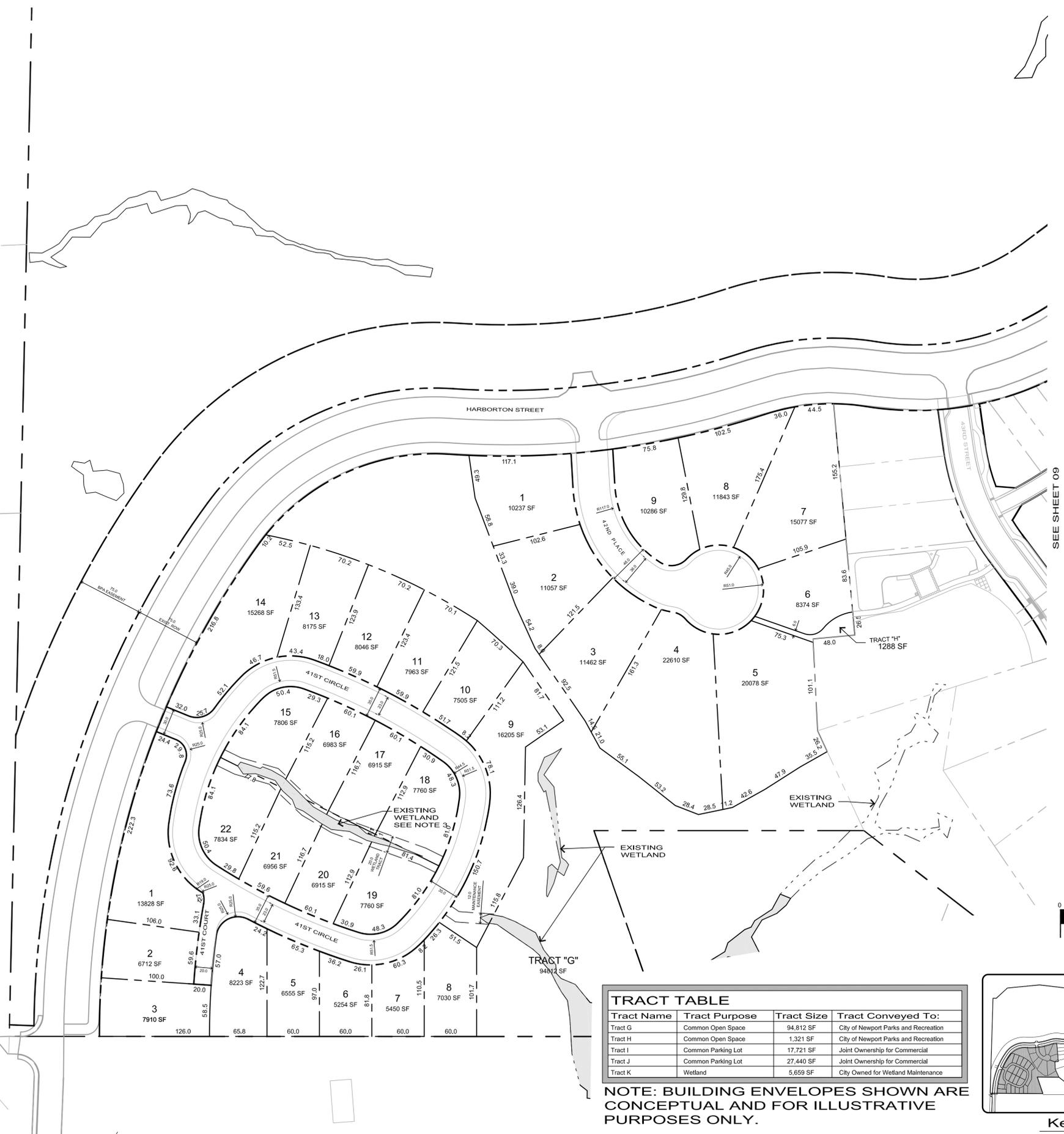
JOB NO.: LAN005
 DATE: JUNE 15, 2015
 APPLICATION: Community Master
 Development Plan
 Applications

WILDER
 TENTATIVE SUBDIVISION PLAT
 MASTER PLAN

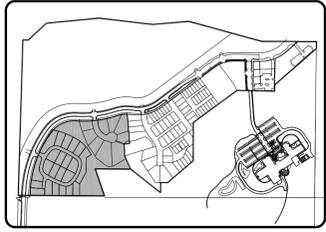
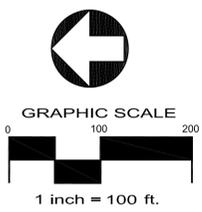
SHEET
07

NOTES:

1. BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.
2. PUBLIC EASEMENTS WILL BE PROVIDED AS NECESSARY DURING DEVELOPMENT AND APPROVED WITH CONSTRUCTION PLAN APPLICATIONS. EASEMENTS WILL PROVIDE ADEQUATE ACCESS TO PUBLIC FACILITIES CONSTRUCTED THROUGH PRIVATE PROPERTY. THESE EASEMENTS MAY BE FOR, BUT NOT LIMITED TO, THE CONVEYANCE OF STORMWATER THROUGH PRIVATE PROPERTY.
3. THIS PUD SUBMITTAL INCLUDES AN ALTERNATE OPTION TO MITIGATE AND REMOVE THE EXISTING WETLAND IN PHASE 4. ADDITIONAL INFORMATION REGARDING THIS ALTERNATE IS SHOWN ON SHEETS 15 AND 17 OF THIS SUBMITTAL. IF THE WETLAND ALTERNATE IS SELECTED, THE APPLICANT WILL DEDICATE A TRACT TO THE CITY TO ALLOW FOR DRAINAGE ACCESS AND MAINTENANCE.



SEE SHEET 09



Key Map
N.T.S.

TRACT TABLE			
Tract Name	Tract Purpose	Tract Size	Tract Conveyed To:
Tract G	Common Open Space	94,812 SF	City of Newport Parks and Recreation
Tract H	Common Open Space	1,321 SF	City of Newport Parks and Recreation
Tract I	Common Parking Lot	17,721 SF	Joint Ownership for Commercial
Tract J	Common Parking Lot	27,440 SF	Joint Ownership for Commercial
Tract K	Wetland	5,659 SF	City Owned for Wetland Maintenance

NOTE: BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.

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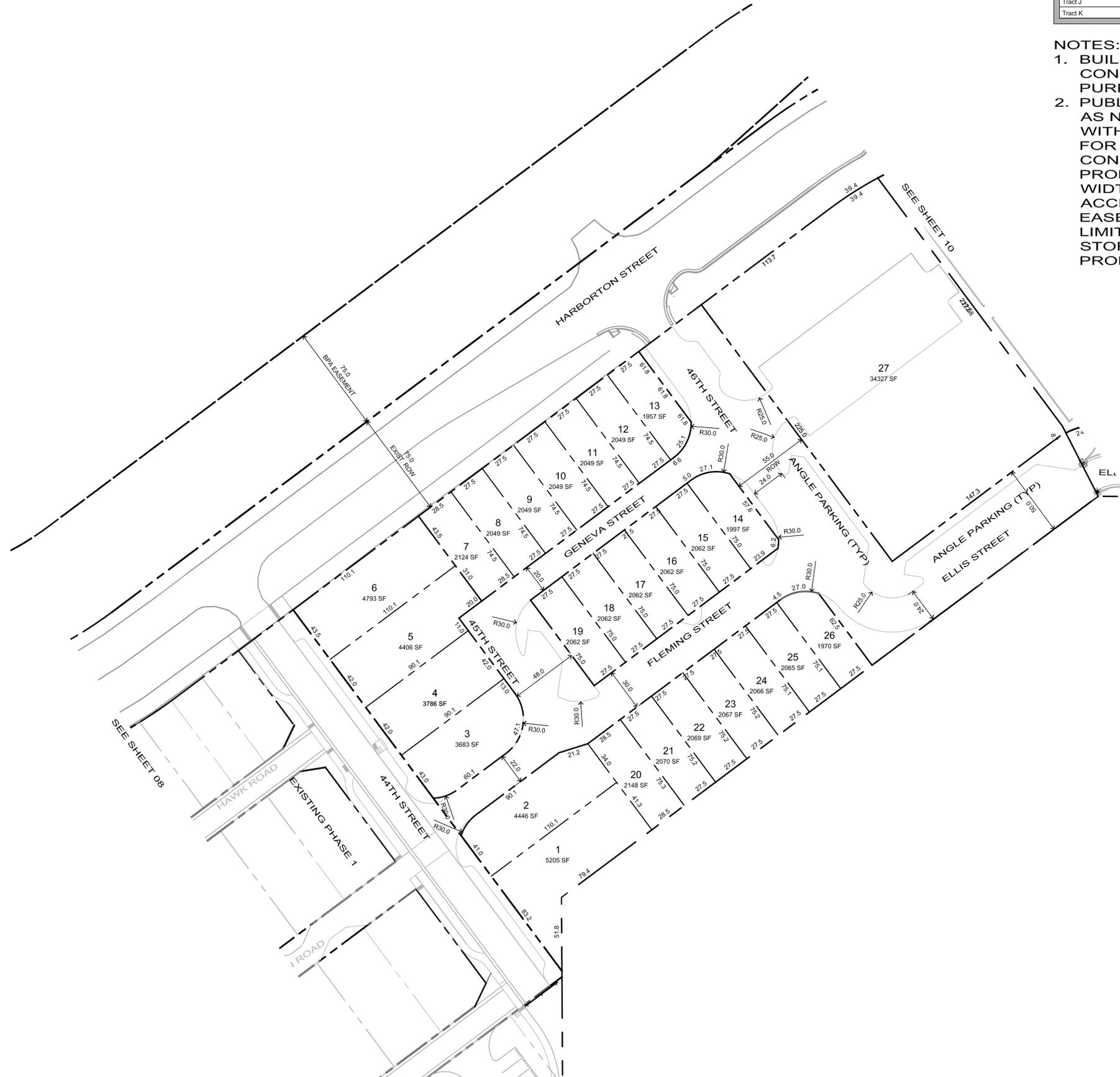
2G ASSOCIATES
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JOB NO.: LAN005
 DATE: JUNE 15, 2015
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 Applications

WILDER
TENTATIVE SUBDIVISION PLAT
 Phase 3 and 4

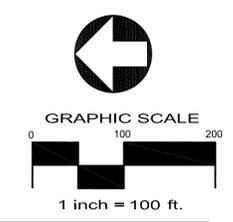
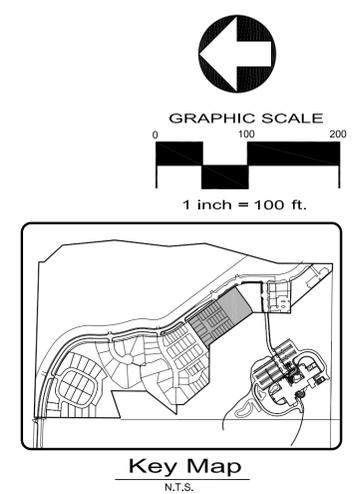
SHEET

08



TRACT TABLE			
Tract Name	Tract Purpose	Tract Size	Tract Conveyed To:
Tract G	Common Open Space	94,812 SF	City of Newport Parks and Recreation
Tract H	Common Open Space	1,321 SF	City of Newport Parks and Recreation
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- NOTES:**
1. BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.
 2. PUBLIC EASEMENTS WILL BE PROVIDED AS NECESSARY DURING DEVELOPMENT WITH CONSTRUCTION APPLICATIONS FOR ACCESS TO PUBLIC FACILITIES CONSTRUCTED THROUGH PRIVATE PROPERTY AND WHERE ADDITIONAL WIDTH FOR PUBLIC MAINTENANCE ACCESS IS NEEDED. THESE EASEMENTS MAY BE FOR, BUT NOT LIMITED TO, THE CONVEYANCE OF STORMWATER THROUGH PRIVATE PROPERTY.



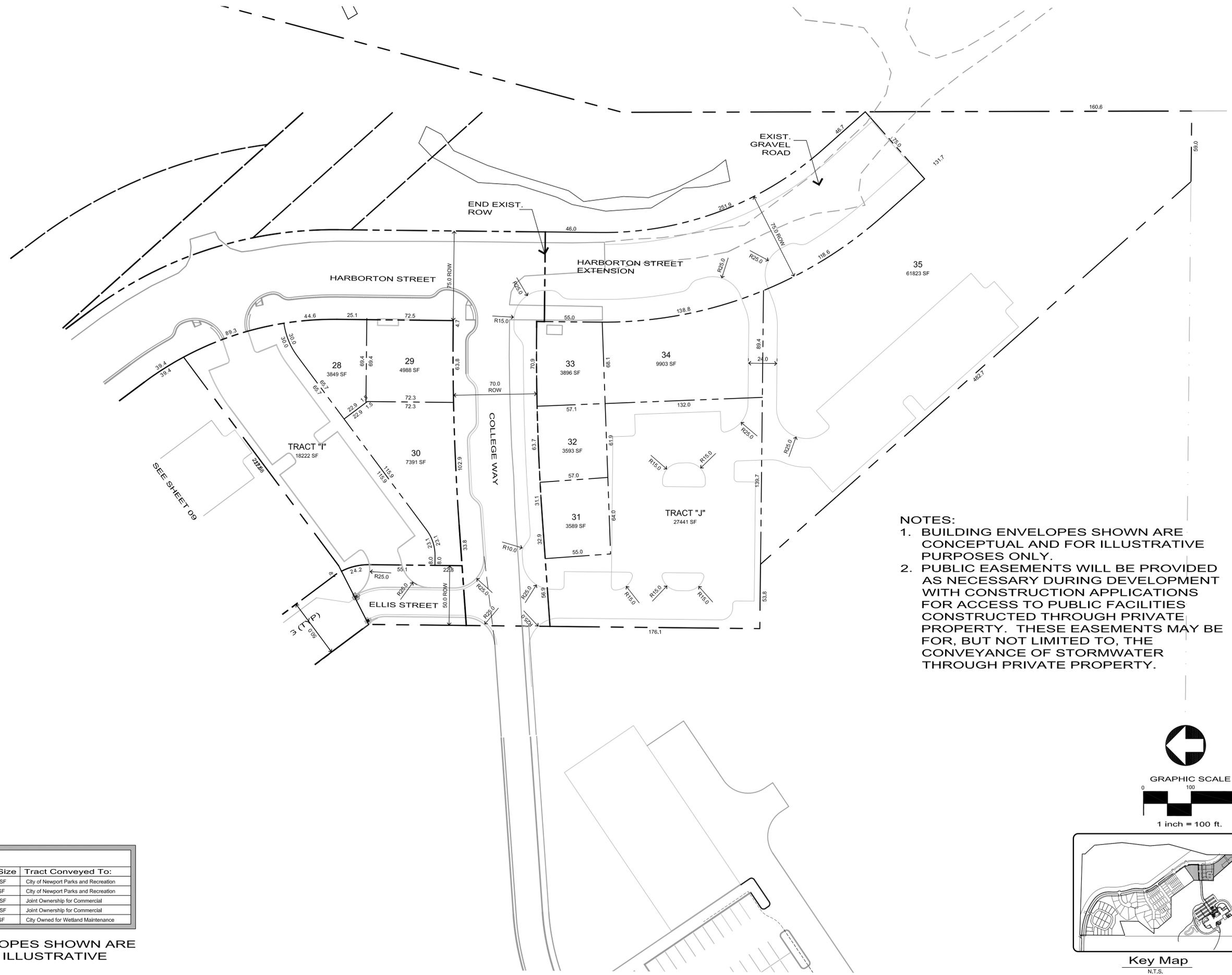
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JOB NO.: LAN005
 DATE: JUNE 15, 2015
 APPLICATION: Community Master
 Development Plan
 Applications

WILDER
 TENTATIVE SUBDIVISION PLAT
 Phase 2B 2C and 2D
 SHEET
09

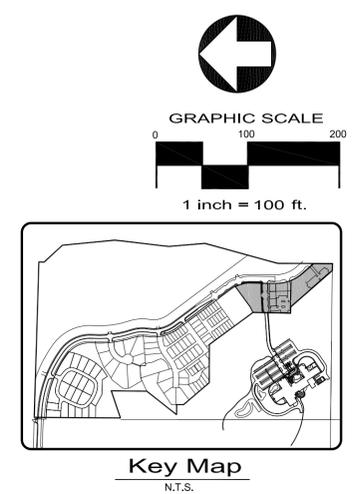


NOTES:

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TRACT TABLE			
Tract Name	Tract Purpose	Tract Size	Tract Conveyed To:
Tract G	Common Open Space	94,812 SF	City of Newport Parks and Recreation
Tract H	Common Open Space	1,321 SF	City of Newport Parks and Recreation
Tract I	Common Parking Lot	17,721 SF	Joint Ownership for Commercial
Tract J	Common Parking Lot	27,440 SF	Joint Ownership for Commercial
Tract K	Wetland	5,659 SF	City Owned for Wetland Maintenance

NOTE: BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.



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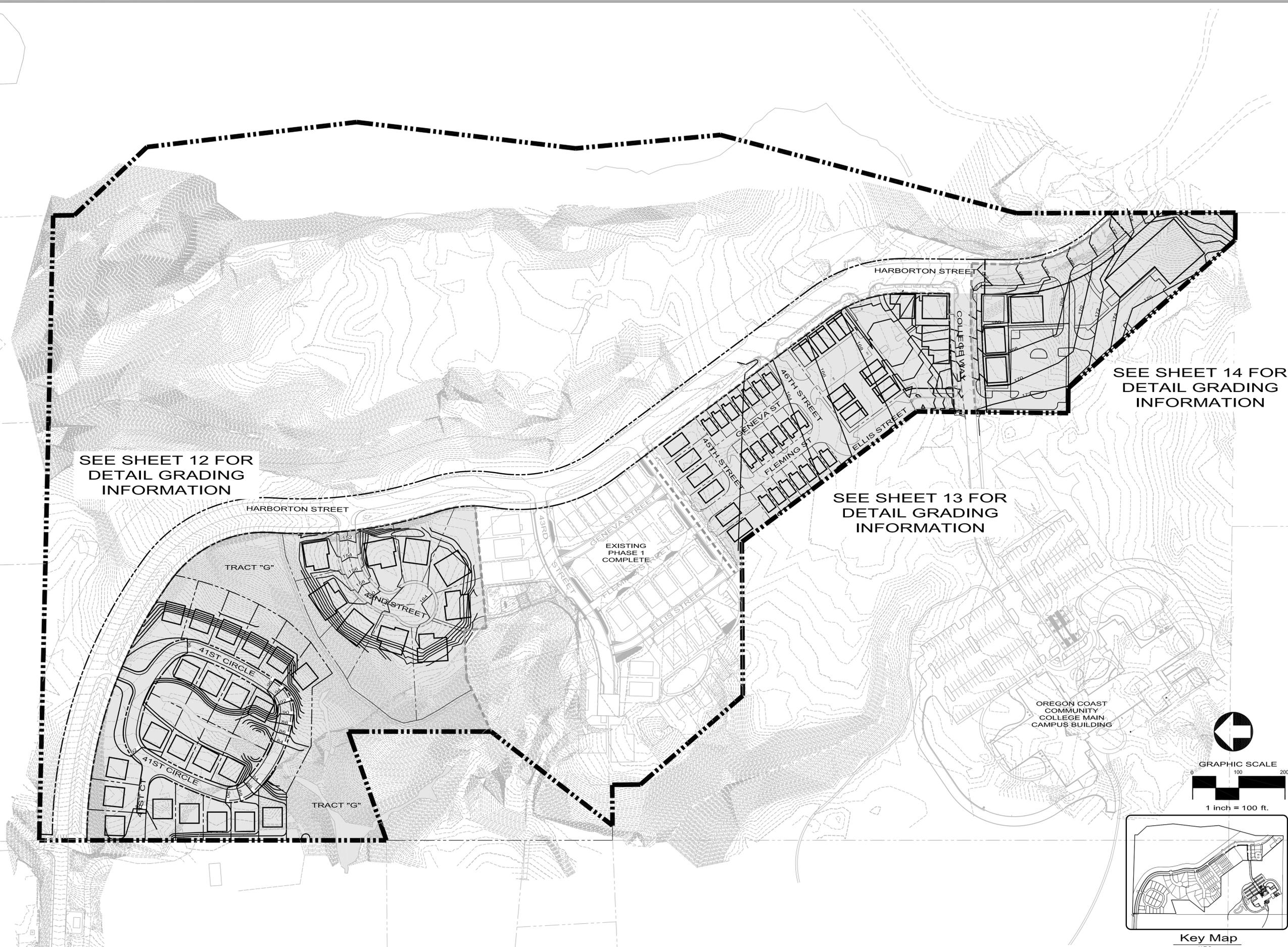
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JOB NO.: LAN005
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 Applications

WILDER
 TENTATIVE SUBDIVISION PLAT
 Phase 2A 2E and 2F

SHEET
10

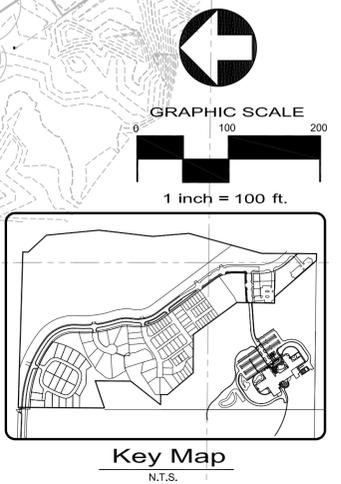
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SEE SHEET 12 FOR
DETAIL GRADING
INFORMATION

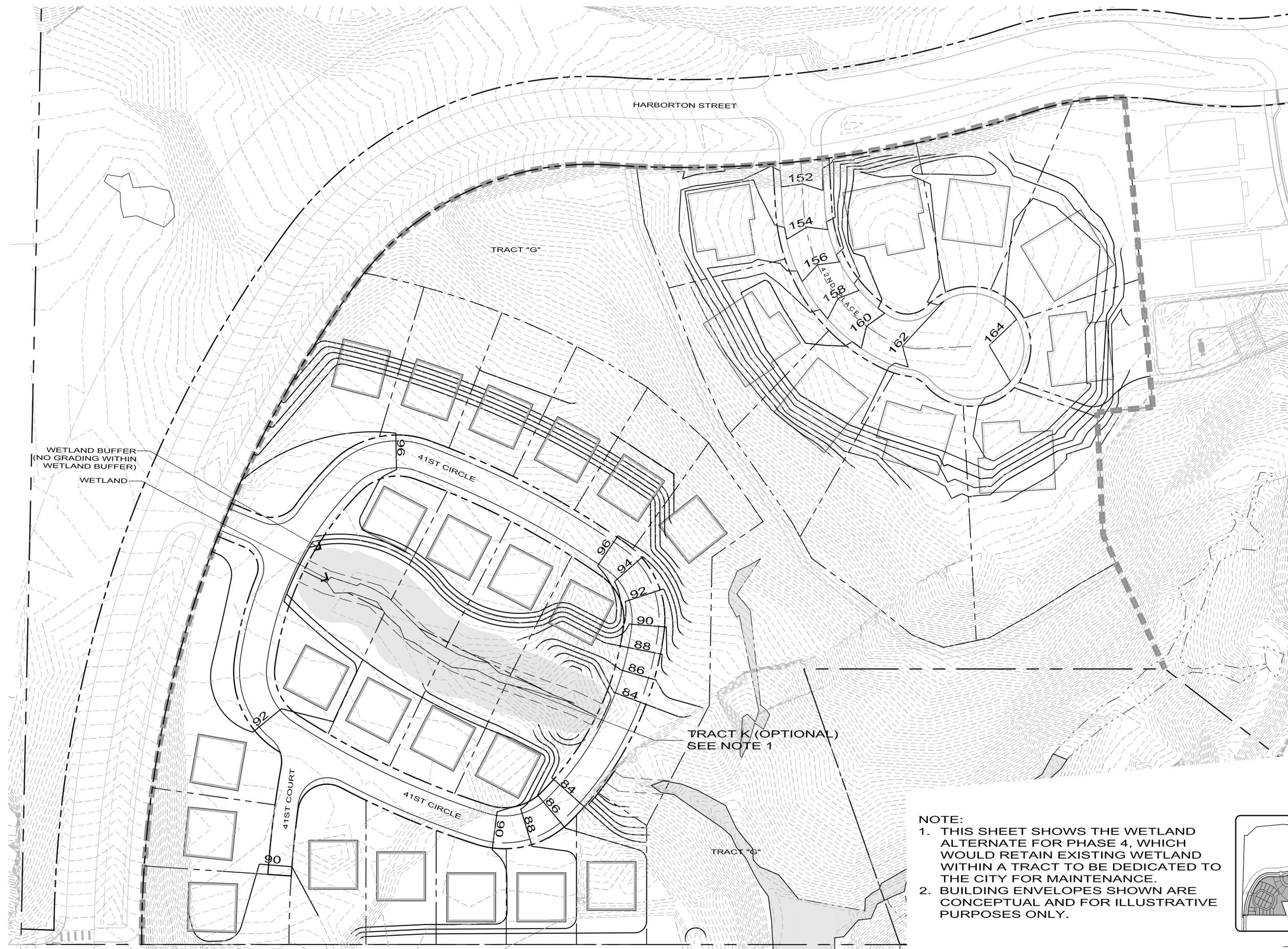
SEE SHEET 13 FOR
DETAIL GRADING
INFORMATION

SEE SHEET 14 FOR
DETAIL GRADING
INFORMATION

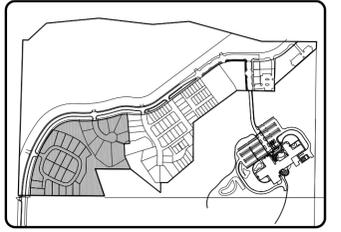
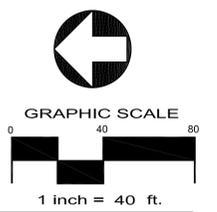


landwaves inc	JET Planning, LLC	400 COLUMBIA STREET SUITE 160 VANCOUVER, WA 98660 PHONE: 503-939-8750
2712 SE 20th Ave Portland, Oregon 97202 TEL: (503) 221-0167 FAX: (503) 221-0741	215 W. 4th Street, Ste. 209 Vancouver, WA 98660 TEL: 503-705-3806	
JOB NO.: LAN005	DATE: JUNE 15, 2015	
APPLICATION: Community Master Development Plan Applications		

Jun 15, 2015 - 3:59pm
\\2CSRV12G Data\Common Data\Projects - Active\LAN005 - Wilfer Phase 214 Planning\Drawings\Applications\Community Master Plan Phase 3 Revised\lan005-CMP10-11-Grading.dwg



SEE SHEET 13



Key Map
N.T.S.

JOB NO.:	LAN005
DATE:	JUNE 15, 2015
APPLICATION:	Community Master Development Plan Applications

WILDER GRADING PLAN
Phase 3 and 4 WETLAND ALTERNATE

SHEET
12

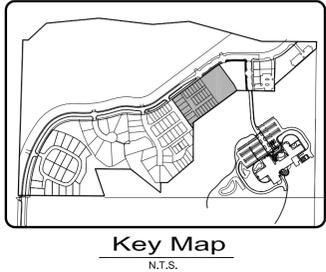
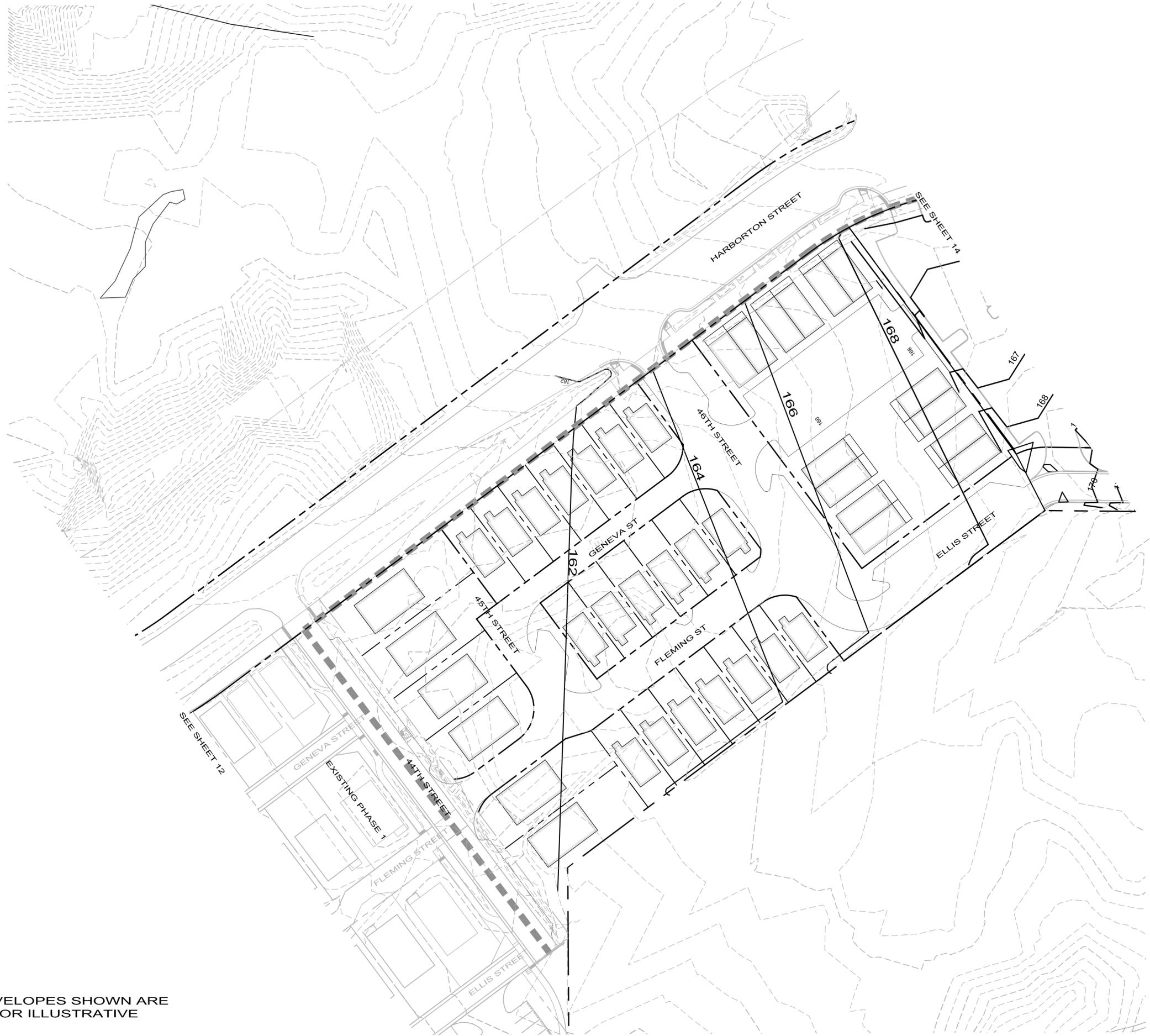
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Jun 15, 2015 - 3:59pm
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NOTE: BUILDING ENVELOPES SHOWN ARE
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JOB NO.:	LAN005
DATE:	JUNE 15, 2015
APPLICATION:	Community Master Development Plan Applications

WILDER
GRADING PLAN
Phase 2B 2C and 2D

SHEET
13

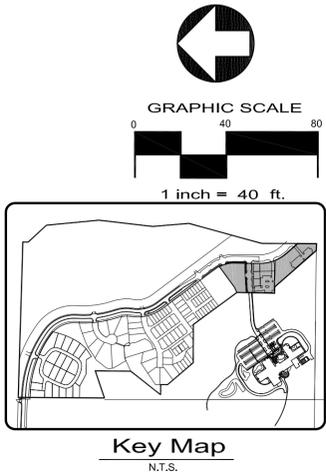
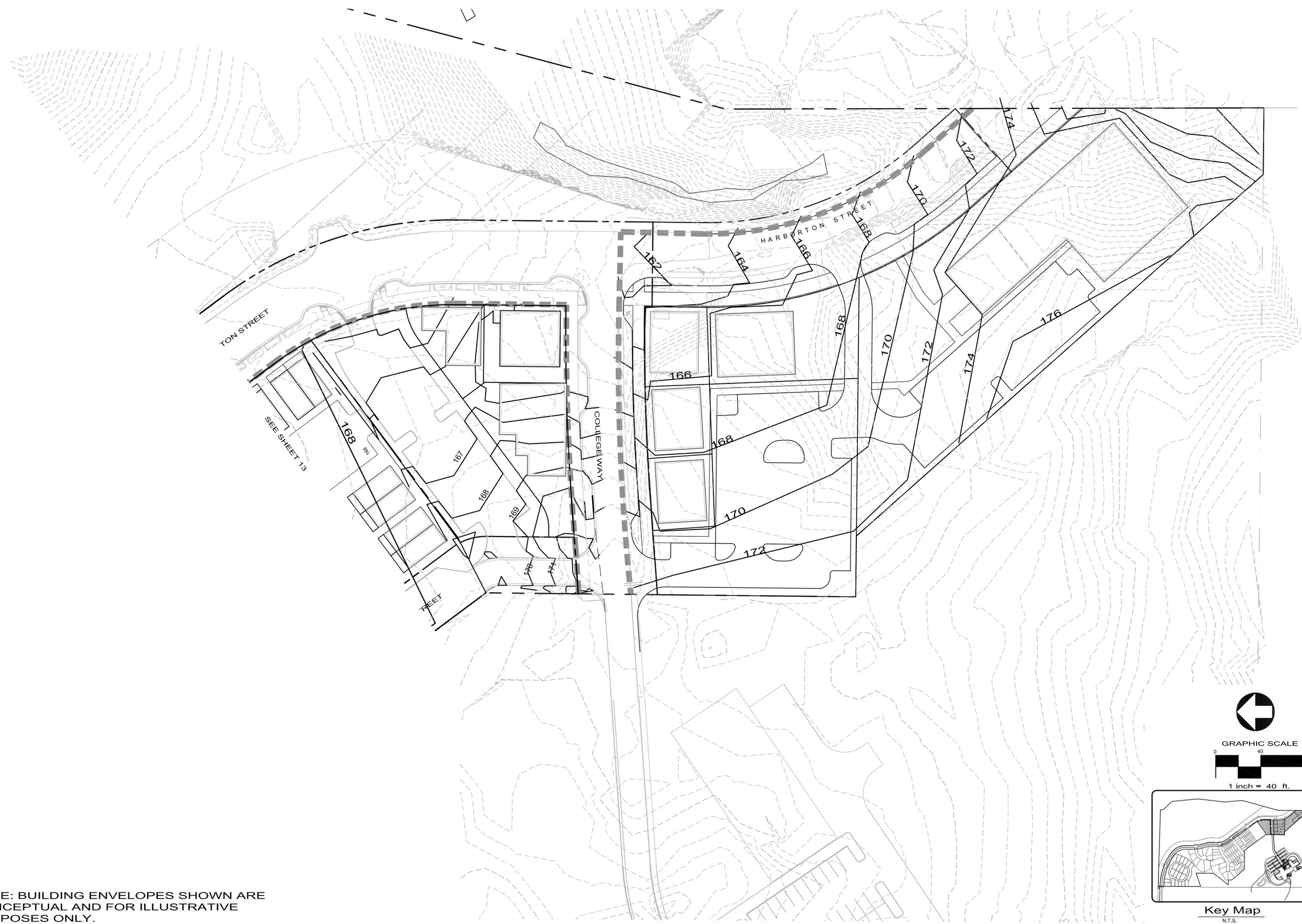
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JOB NO.:	LAN005
DATE:	JUNE 15, 2015
APPLICATION:	Community Master Development Plan Applications

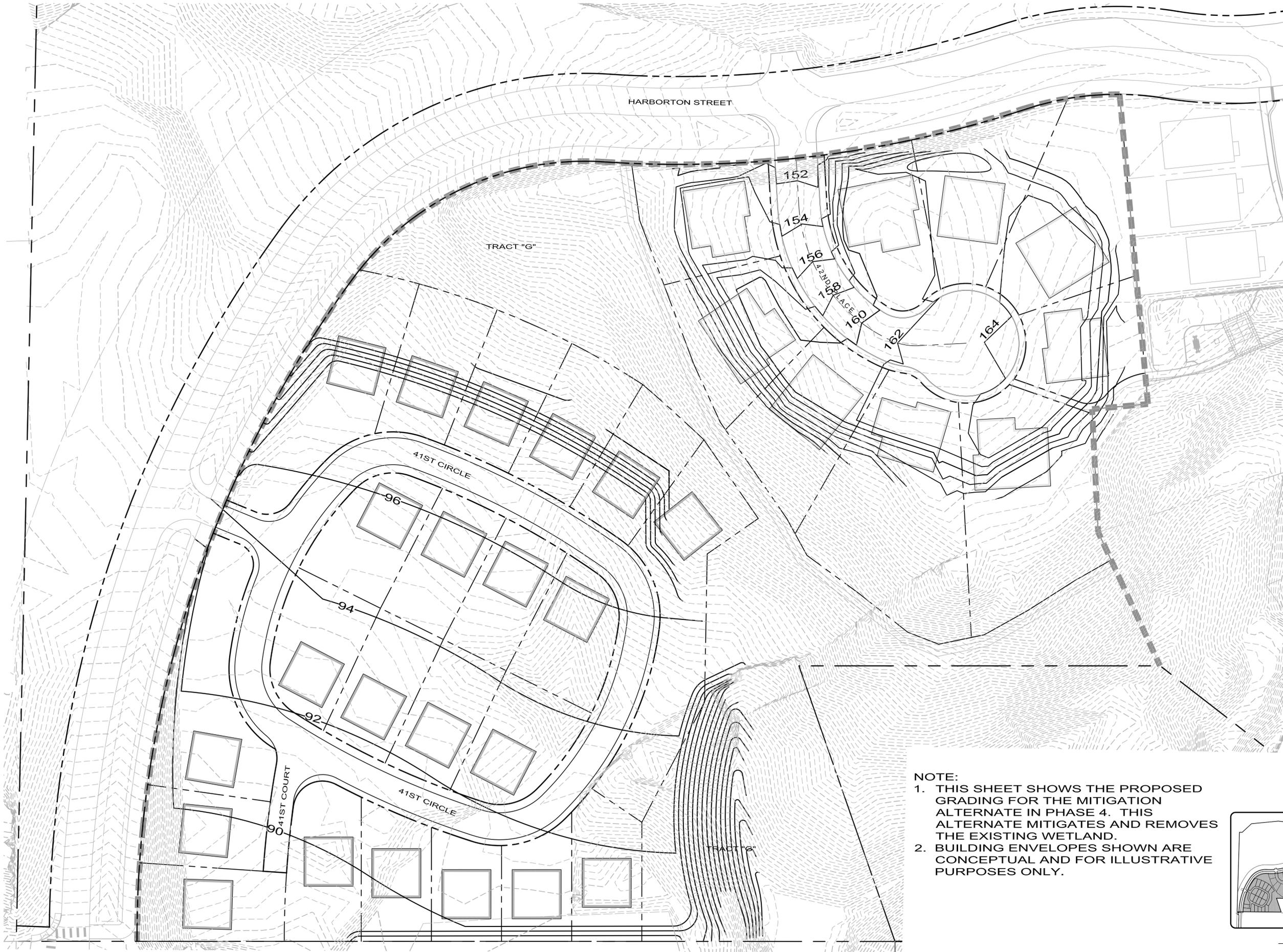
WILDER
GRADING PLAN
 Phase 2A 2E and 2F

SHEET
14

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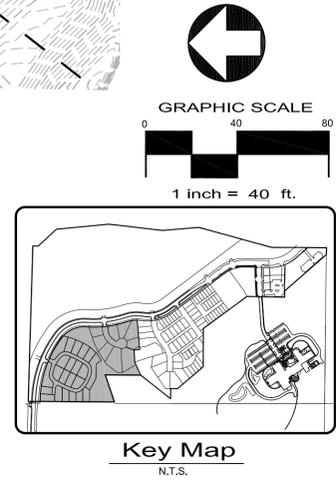
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SEE SHEET 13

- NOTE:**
1. THIS SHEET SHOWS THE PROPOSED GRADING FOR THE MITIGATION ALTERNATE IN PHASE 4. THIS ALTERNATE MITIGATES AND REMOVES THE EXISTING WETLAND.
 2. BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.



Key Map
N.T.S.

WILDER
GRADING PLAN
PHASE 4 MITIGATION ALTERNATE

SHEET

15

JOB NO.: LAN005

DATE: JUNE 15, 2015

APPLICATION: Community Master

Development Plan

Applications

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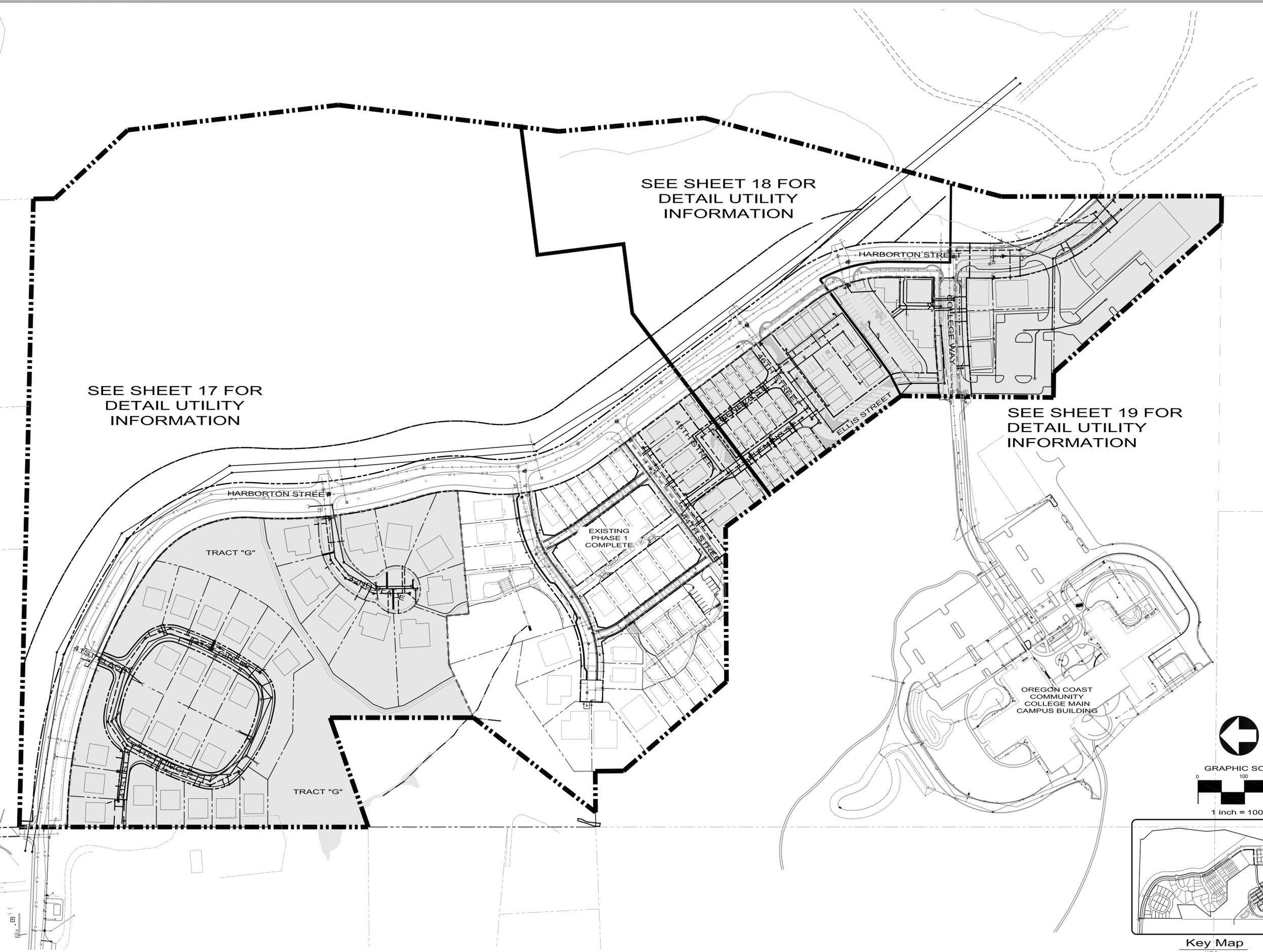
TEL: 503-705-3806

FAX: 503-705-3806

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Jun 15, 2015 - 4:00pm
\\2CSRV12G Data/Common Data/Projects - Active/LAN005 - Wilder Phase 2/4 Planning/Drawings/Applications/Community Master Plan Phase 3 Revised/Lan005-CMP12-Utility Master Plan.dwg



SEE SHEET 17 FOR
DETAIL UTILITY
INFORMATION

SEE SHEET 18 FOR
DETAIL UTILITY
INFORMATION

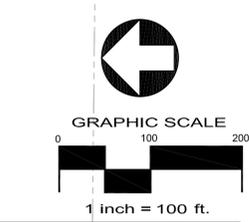
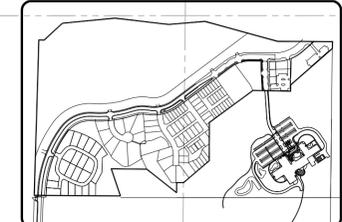
SEE SHEET 19 FOR
DETAIL UTILITY
INFORMATION

TRACT "G"

TRACT "G"

EXISTING
PHASE 1
COMPLETE

OREGON COAST
COMMUNITY
COLLEGE MAIN
CAMPUS BUILDING



Key Map
N.T.S.

JOB NO.:	LAN005
DATE:	JUNE 15, 2015
APPLICATION:	Community Master Development Plan Applications

WILDER
UTILITY MASTER PLAN

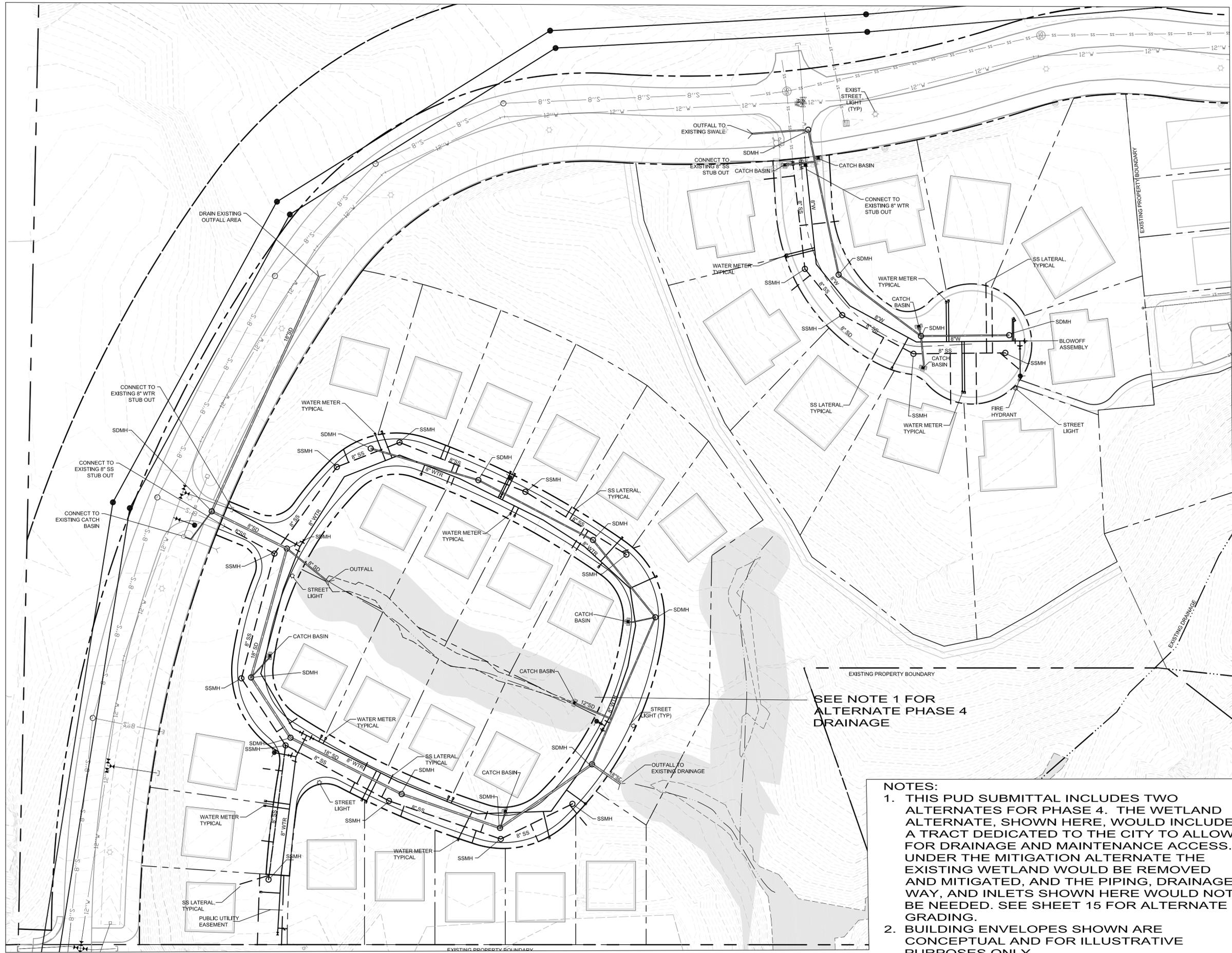
SHEET
16

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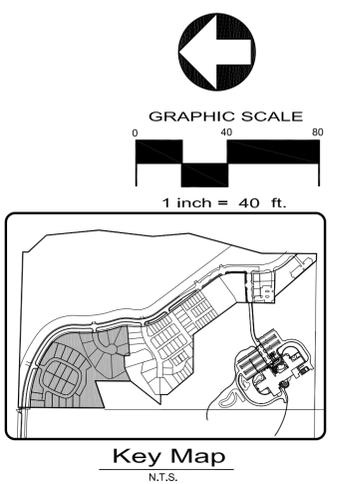
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SEE SHEET 18

SEE NOTE 1 FOR ALTERNATE PHASE 4 DRAINAGE

- NOTES:**
1. THIS PUD SUBMITTAL INCLUDES TWO ALTERNATES FOR PHASE 4. THE WETLAND ALTERNATE, SHOWN HERE, WOULD INCLUDE A TRACT DEDICATED TO THE CITY TO ALLOW FOR DRAINAGE AND MAINTENANCE ACCESS. UNDER THE MITIGATION ALTERNATE THE EXISTING WETLAND WOULD BE REMOVED AND MITIGATED, AND THE PIPING, DRAINAGE WAY, AND INLETS SHOWN HERE WOULD NOT BE NEEDED. SEE SHEET 15 FOR ALTERNATE GRADING.
 2. BUILDING ENVELOPES SHOWN ARE CONCEPTUAL AND FOR ILLUSTRATIVE PURPOSES ONLY.



LAN005
 DATE: JUNE 15, 2015
 APPLICATION: Community Master Development Plan Applications

WILDER
 UTILITY PLAN
 Phase 3 and 4
 SHEET
 17

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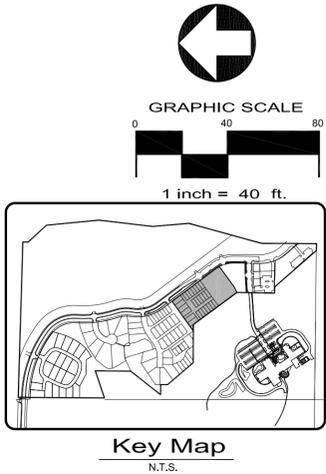


TEMPORARY 18"SD
 REMOVED WITH
 DEVELOPMENT OF
 PHASES 2C AND 2D

SEE SHEET 17

SEE SHEET 19

**NOTE: BUILDING ENVELOPES SHOWN ARE
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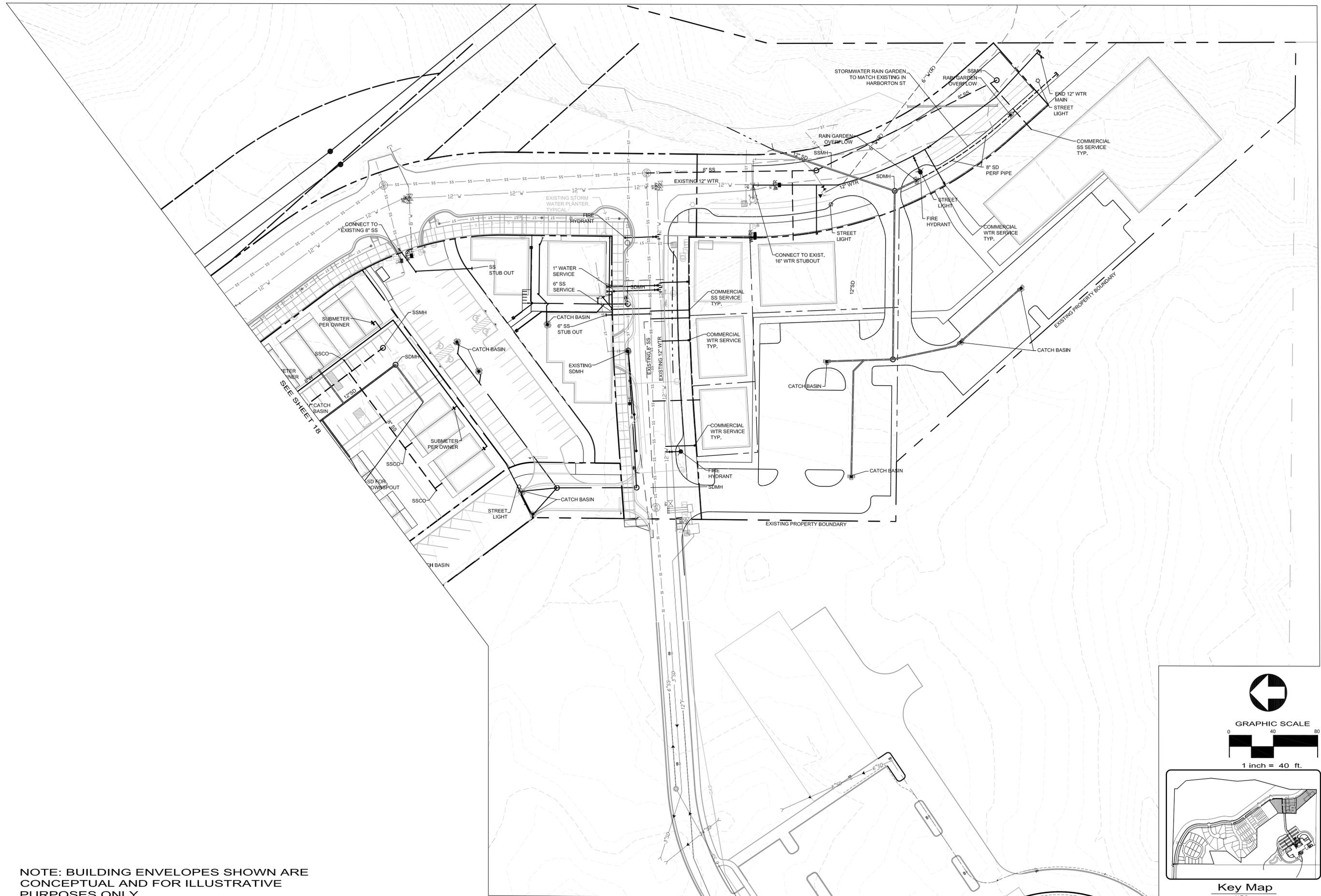
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JOB NO.:	LAN005
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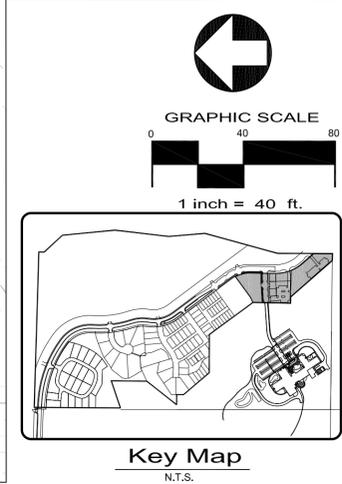
**WILDER
 UTILITY PLAN**
 Phase 2B 2C and 2D

SHEET
18

Jun 15, 2015 - 4:01pm
\\2CSRV12G Data\Common Data\Projects - Active\LAN005 - Wilfer Phase 214 Planning\Drawings\Applications\Community Master Plan Phase 3 Revised\lan005-CMP13-14-Utility.dwg



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Phase 2A 2E and 2F

SHEET
19