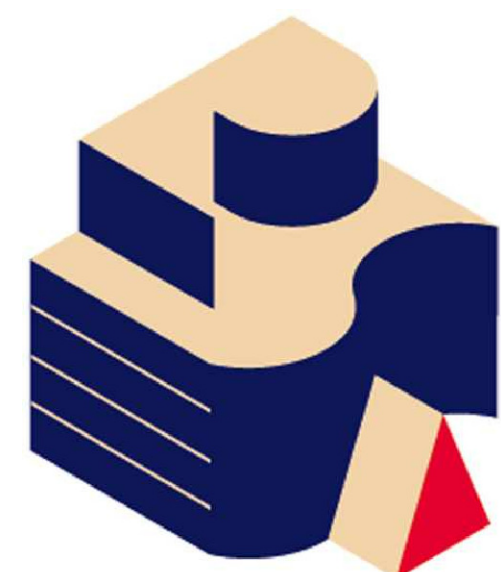


NEWPORT AQUATIC CENTER

225 SE Avery Street, Newport, OR 97365



**CONSTRUCTION DOCUMENTS
PACKAGE B
17 JUNE 2015**



Robertson | Sherwood Architects PC



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SHEET INDEX

GENERAL
G0.0 PROJECT INFORMATION
G1.1 SITE TOPOGRAPHIC SURVEY
EXITING PLAN

LANDSCAPE
L1.0 LANDSCAPE SITE PLAN
L2.0 LAYOUT PLAN
L3.0 GRADING PLAN
L4.0 LANDSCAPE PLAN
L5.1 LANDSCAPE DETAILS
L5.2 LANDSCAPE DETAILS
L5.3 LANDSCAPE DETAILS
L5.4 LANDSCAPE DETAILS

CIVIL
C1.0 GENERAL NOTES, ABBREVIATIONS, AND LEGEND
C1.1 CIVIL SITE PLAN
C1.2 CIVIL UTILITY PLAN
C1.3 CIVIL SEWER AND STORM DEMOLITION PLAN
C1.4 CIVIL PARKING LOT AND POWER DEMOLITION PLAN
C1.5 NEW UTILITY PLAN- PARKING LOT
C1.6 NEW UTILITY PLAN AND PROFILE- 10TH STREET
C1.7 CIVIL DETAILS
C1.8 CIVIL DETAILS
C1.9 CIVIL DETAILS

ARCHITECTURAL
A0.1 SITE DEMOLITION PLAN
A0.2 BUILDING DEMOLITION PLAN
A1.1 FLOOR PLAN
A1.2 REFLECTED CEILING PLAN
A1.3 ROOF PLAN
A1.4 MISCELLANEOUS FLOOR PLANS
A1.5 DECK DRAINAGE PLAN
EQ A2.1 BUILDING ELEVATIONS
A2.2 BUILDING SECTIONS
A2.3 BUILDING SECTIONS
A2.4 BUILDING SECTIONS
A2.5 WALL SECTIONS
A2.6 WALL SECTIONS
A3.1 INTERIOR ELEVATIONS
A4.1 DETAILS
A4.2 DETAILS
A5.1 SCHEDULES

STRUCTURAL
S1.1 STRUCTURAL GENERAL NOTES
S1.2 STRUCTURAL GENERAL NOTES
S1.3 STRUCTURAL LEGEND AND ABBREVIATIONS
S2.0 EXISTING FOUNDATION LOADING PLAN
S2.1 STRUCTURAL FOUNDATION PLAN
S2.2 STRUCTURAL ROOF FRAMING PLAN
S4.1 STRUCTURAL FOUNDATION DETAILS
S4.2 STRUCTURAL DETAILS
S4.3 STRUCTURAL DETAILS
S5.1 STRUCTURAL ROOF FRAMING DETAILS
S5.2 STRUCTURAL ROOF FRAMING DETAILS
S6.1 STRUCTURAL STEEL STUD FRAMING DETAILS

POOLS
SP1 SWIMMING POOL LAYOUT PLAN
SP2 SWIMMING POOL/ACTIVITY POOL/HYDROTHERAPY SPA PIPING PLAN
SP3 SWIMMING POOL/ACTIVITY POOL/HYDROTHERAPY SPA UNDERWATER LIGHTING PLAN
SP4 SWIMMING POOL SECTIONS
SP5 DETAILS
SP6 DETAILS
SP7 DETAILS
SP8 DETAILS
SP9 DETAILS

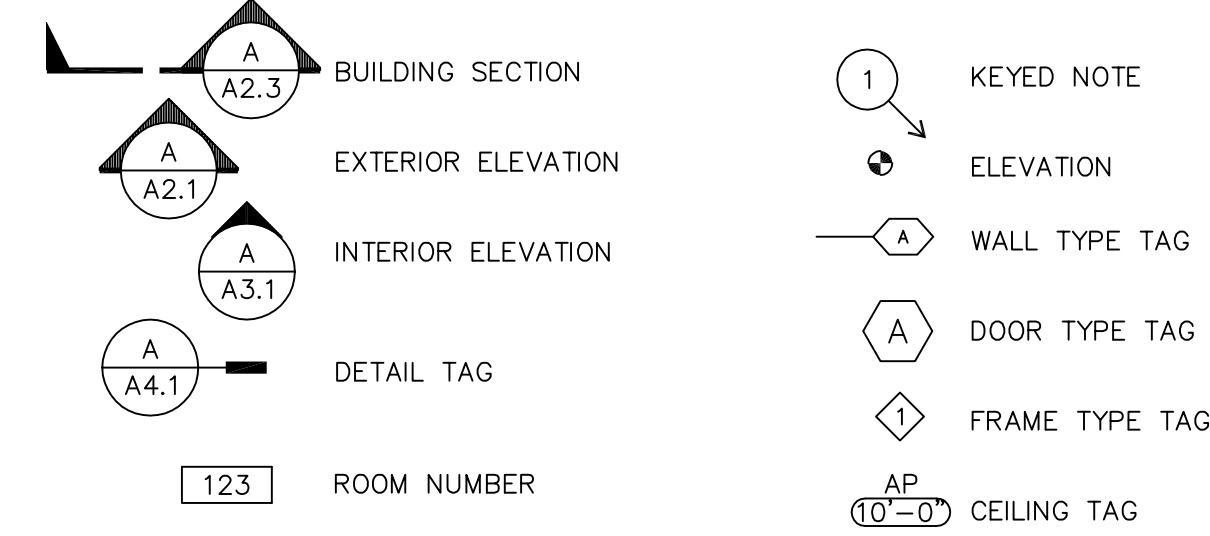
AP1 ACTIVITY POOL LAYOUT PLAN
AP2 ACTIVITY POOL SECTIONS
AP3 DETAILS
AP4 DETAILS
AP5 DETAILS
HS1 HYDROTHERAPY SPA LAYOUT/PIPING PLAN AND SECTIONS
HS2 DETAILS
HS3 DETAILS
MR1 MECHANICAL ROOM LAYOUT PLAN
MR2 MECHANICAL ROOM SECTIONS
MR3 DETAILS
MR4 DETAILS
MR5 DETAILS
MR6 DETAILS
MR7 DETAILS
MR8 DETAILS
MR9 DETAILS

PLUMBING
PD.1 PLUMBING LEGEND AND SCHEDULES
P1.1 FOUNDATION PLUMBING PLAN
P1.2 PLUMBING AND FIRE PROTECTION PLAN
P4.1 PLUMBING AND FIRE PROTECTION ENLARGED PLANS
P5.1 PLUMBING DETAILS AND DIAGRAMS

MECHANICAL
M0.1 MECHANICAL LEGEND AND SCHEDULES
M1.1 AIR DISTRIBUTION
M4.1 ENLARGED PLANS
M4.2 ENLARGED PLANS AND SECTIONS
M4.3 SECTIONS
M5.1 MECHANICAL DETAILS
M5.2 MECHANICAL DETAILS
M6.1 MECHANICAL DIAGRAMS

ELECTRICAL
E0.1 LEGEND, GENERAL NOTES, AND LUMINAIRE SCHEDULES
E1.0 ELECTRICAL SITE PLAN
E1.1 MAIN LEVEL LIGHTING PLAN
E1.2 LOWER LEVEL LIGHTING AND ELECTRICAL PLANS
E2.1 MAIN LEVEL ELECTRICAL PLAN AND ENLARGED ELECTRICAL ROOM PLAN
E6.1 ONE-LINE DIAGRAM, DETAILS, AND SCHEDULES

SYMBOLS LEGEND



ABBREVIATIONS

Table of abbreviations for architectural and structural elements, including AFF (Above Finish Floor), ARCH (Architectural), BO (Bottom of), BW (Bottom of Wall), CJ (Control Joint), CL (Center Line), CLR (Clear), CONC (Concrete), CONT (Continuous), CMU (Concrete Masonry Unit), CTD (Continuous Trench Drain), DS (Downspout), ELEC (Electrical), EQ (Equal), FD (Floor Drain), FE (Fire Extinguisher), FEC (Fire Extinguisher Cabinet), FFE (Finish Floor Elevation), FH (Fire Hydrant), F.O. (Face of), F.O.F. (Face of Finish), F.O.S. (Face of Stud), GALV (Galvanized), GB (Grab Bar), GFI (Ground Fault Interruption), GYP BD (Gypsum Board), HB (Hose Bibb), HM (Hollow Metal), HORIZ (Horizontal), HSS (Hollow Structural Section), MAX (Maximum), MECH (Mechanical), MIN (Minimum), MR (Mirror), NIC (Not in Contract), OC (On Center), OF/CI (Owner Furnished/Contractor Installed), OF/OI (Owner Furnished/Owner Installed), PLAM (Plastic Laminate), P.T. (Pressure Treated), PTD (Paper Towel Dispenser), REQ'D (Required), SCD (Seat Cover Dispenser), SD (Soap Dispenser), SIMILAR (Similar), SM (Sheet Metal), STL (Steel), STRUC (Structural), T.D. (Trench Drain), T.O. (Top of), TS (Top of Slab), TTD (Toilet Tissue Dispenser), TW (Top of Wall), TYP (Typical), UNLESS OTHERWISE NOTED (Unless Otherwise Noted), VCT (Vinyl Composition Tile), VERT (Vertical), VTR (Vent Through Roof), W/ (With), WD (Wood), WRB (Weather Resistive Barrier).

BID ALTERNATES

ALTERNATE NO. 1: DELETE ENCLOSED SPECTATOR ENTRANCE
BASE BID: CONSTRUCT LOBBY/NATORIUM SPECTATOR ENTRANCE AS SHOWN ON DRAWINGS (VESTIBULE #48)
ALTERNATE: DELETE SELECTIVE DEMOLITION, NEW STOREFRONT, AND RELATED ELECTRICAL WORK SHOWN IN AREA OF WORK

ALTERNATE NO. 2: DELETE UV TREATMENT FOR POOL SYSTEMS
BASE BID: PROVIDE UV TREATMENT FOR POOL SYSTEMS
ALTERNATE: DELETE UV TREATMENT EQUIPMENT. PIPING FOR EQUIPMENT TO REMAIN IN SCOPE.

ALTERNATE NO. 3: ADDITIONAL SIDEWALK ALONG S.E. 10TH STREET
BASE BID: PROVIDE NEW SIDEWALK ALONG S.E. 10TH STREET UP TO NATATORIUM EXIT DOORS (DOORS 150B/C)
ALTERNATE: PROVIDE ADDITIONAL SIDEWALK TO THE EAST AS SHOWN ON SHEET L1.0.

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS WILL BE SUBMITTED AS A DEFERRED SUBMITTALS. THESE SUBMITTALS ARE TO BE PREPARED BY THE SUBCONTRACTOR RESPONSIBLE FOR THE WORK AND SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO THE START OF INSTALLATION. CONTRACTOR RESPONSIBLE FOR SUBMISSION OF SUBMITTALS TO THE CITY BUILDING DEPARTMENT, AND FOR ASSOCIATED REVIEW FEES. REFER TO THE PROJECT MANUAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION ON REQUIREMENTS FOR EACH SUBMITTAL:

- FOUNDATION UNDERPINNING.
- OPEN WEB STEEL JOISTS, GIRDERS, AND TRUSSES.
- SEISMIC RESTRAINTS FOR PIPING, DUCTWORK AND MECHANICAL EQUIPMENT. DEFERRED SUBMITTAL DOCUMENTATION TO INCLUDE ENGINEERING & SHOP DRAWINGS FOR SEISMIC RESTRAINT SYSTEMS, ASSEMBLIES AND COMPONENTS.
- AUTOMATIC FIRE SPRINKLERS. DEFERRED SUBMITTAL DOCUMENTATION TO INCLUDE PIPE SIZING CALCULATIONS AND SYSTEM DRAWINGS INDICATING PIPE RUNS, PIPE SIZES, VALVES, FLOW SWITCHES, AND HEAD LOCATIONS. DESIGN TO BE IN CONFORMANCE WITH NFPA 13.

SITE INFORMATION/ZONING

LOCATION: 225 SE AVERY STREET, NEWPORT, OREGON

TAX MAP: 11-11-09-AC-02000-00

ZONING ANALYSIS, BASED UPON CITY OF NEWPORT MUNICIPAL CODE, TITLE VIV (ZONING)

COMPREHENSIVE PLAN DESIGNATION: PUBLIC

ZONING: P-1 (PUBLIC STRUCTURES)

MAXIMUM BUILDING HEIGHT: 50 FEET

HEIGHT BUFFER: HEIGHT OF BUILDING IS LIMITED DUE TO PROXIMITY TO R-2 RESIDENTIAL ZONES ACROSS S.E. 10TH STREET. BUFFER IS CALCULATED BY BEGINNING AT A HEIGHT OF 10 FEET AT THE PROJECT SITE'S PROPERTY LINE (ADJACENT TO RESIDENTIAL ZONES) AND INCREASING AT A SLOPE OF 1:1 UNTIL INTERSECTING THE HEIGHT LIMIT OTHERWISE ESTABLISHED IN THAT DISTRICT

SETBACK: 0 FEET

SEPARATED BUFFER/YARD: ON ANY PORTION OF A SITE IN A NON-RESIDENTIAL ZONE THAT IS OPPOSITE FROM A RESIDENTIAL DISTRICT AND SEPARATED THEREFROM BY A STREET, A MINIMUM YARD OF 10 FEET SHALL BE REQUIRED. THE MINIMUM YARD SHALL BE PLANTED AND MAINTAINED AS A LANDSCAPE SCREEN (EXCLUDING AREAS REQUIRED FOR ACCESS TO THE SITE).

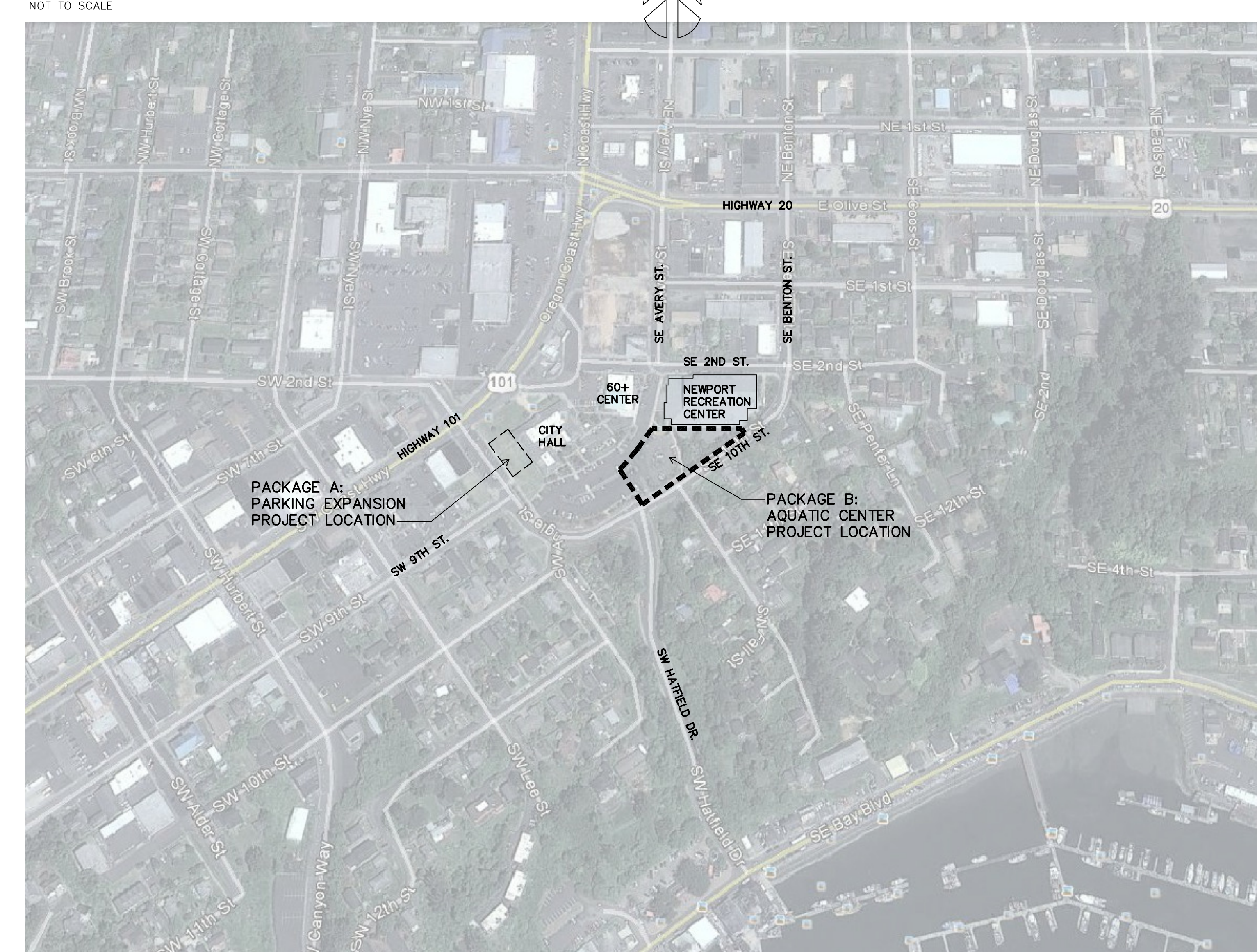
VEHICLE PARKING REQUIREMENT: REFER TO PARKING DEMAND ANALYSIS PREPARED BY CIVIL WEST ENGINEERS

BICYCLE PARKING REQUIREMENT: BASED UPON NUMBER OF VEHICLE PARKING SPACES REQUIRED. ASSUMPTION IS THAT EXISTING BICYCLE PARKING AT RECREATION CENTER MEETS REQUIREMENTS

LOADING/UNLOADING AREAS: FOR BUILDINGS 20,000 TO 79,999 SQUARE FEET, (1) OFF-STREET LOADING AREA IS REQUIRED, THAT IS 35' IN LENGTH x 10 FEET IN WIDTH x 14 FEET IN HEIGHT.

LANDSCAPING: AS PART OF THE "CITY CENTER" SPECIAL ZONE, LANDSCAPING SHALL BE REQUIRED AT A RATE OF 10% OF THE AREA OF THE ADDITION.
FOR PARKING LOTS WITH MORE THAN 20 SPACES, 5% OF THE AREA SHALL BE DEDICATED TO LANDSCAPING. IN NO CASES SHALL A SINGLE LANDSCAPE AREA BE LARGER THAN 300 SF.

VICINITY MAP



PLUMBING FIXTURE SUMMARY

EXISTING RECREATION CENTER:
BASED UPON ORIGINAL CODE ANALYSIS

OCCUPANT LOAD:	1,139 OCCUPANTS 1/2 PER GENDER= 570 OCCUPANTS EACH
REQUIRED FIXTURES:	WATER CLOSETS, MALE: 7 REQUIRED / 9 PROVIDED WATER CLOSETS, FEMALE: 8 REQUIRED / 10 PROVIDED LAVATORIES: 12 REQUIRED / 13 PROVIDED

NEW POOL ACTIVITY AREA:
FIXTURE REQUIREMENTS FOR POOL ACTIVITY AREAS BASED UPON O.A.R. 333-060-0170

LAP POOL AREA (A)=	4,604 SF
BATHER LOAD=	A/24= 192 BATHERS
ACTIVITY/SPA POOL AREA (A)=	2,748 SF
BATHER LOAD=	A/24= 114 BATHERS
TOTAL BATHER LOAD=	306; 1/2 EACH GENDER= 153 BATHERS EACH
REQUIRED FIXTURES, PER OAR 333-060-0170	
WATER CLOSETS, MALE=	1 PER 60= 3 WATER CLOSETS
WATER CLOSETS, FEMALE=	1 PER 40= 4 WATER CLOSETS
LAVATORIES=	1 PER 60= 5 LAVATORIES
SHOWERS=	1 PER 40= 8 SHOWERS

NEW SPECTATOR SEATING AREA:
OCCUPANT LOAD FOR SPECTATOR SEATING BASED UPON A-4 OCCUPANCY, SEATING PROVIDED

OCCUPANT LOAD (SEATING):	300 OCCUPANTS 1/2 PER GENDER= 150 OCCUPANTS EACH
REQUIRED FIXTURES:	WATER CLOSETS, MALE= 1 PER 75= 2 WATER CLOSETS WATER CLOSETS, FEMALE= 1 PER 40= 4 WATER CLOSETS LAVATORIES, MALE= 1 PER 200= 1 LAVATORY LAVATORIES, FEMALE= 1 PER 150= 1 LAVATORY

TOTAL REQUIRED FIXTURES, RECREATION CENTER, POOLS, AND SPECTATORS

WATER CLOSET, MALE=	12 REQUIRED / 12 PROVIDED
WATER CLOSET, FEMALE=	16 REQUIRED / 16 PROVIDED
LAVATORIES=	19 REQUIRED / 21 PROVIDED
SHOWERS=	8 REQUIRED / 19 PROVIDED

ENERGY CODE SUMMARY

BASED ON OREGON ENERGY EFFICIENCY SPECIALTY CODE 2014 (O.E.E.S.C.):

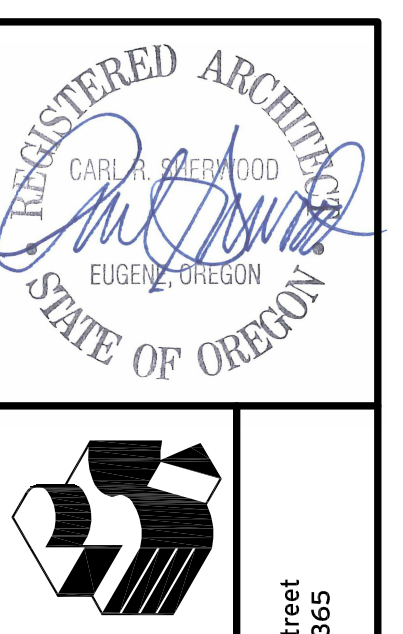
	REQUIRED VALUE	DESIGNED VALUE
ROOFS, INSULATION ABOVE DECK:	R-20ci MIN U-0.048 MAX	R-24ci
WALLS, ABOVE GRADE, MASS:	R-11.4ci MIN OR U-0.15 MAX	U-0.12
WALLS, ABOVE GRADE METAL FRAMED:	R-13 + R-37.5ci MIN OR U-0.064 MAX	U-0.63
WALLS, BELOW GRADE, MASS:	R-7.15ci MIN OR C-0.119 MAX	R-10
SLAB-ON-GRADE, UNHEATED:	NO REQUIREMENT	
OPAQUE DOORS, SWINGING:	U-0.70 MAX	U-0.31
METAL DOORS > 50% GLAZING:	U-0.35 MAX	U-0.35
METAL WINDOWS (STOREFRONT):	U-0.45 MAX MAX 30% OF WALL AREA	U-0.35

WALL U-VALUE CALCULATIONS:

WALLS, ABOVE GRADE, MASS (U-0.15 MAX):	R-VALUE
COMPONENT:	
AIR FILM (EXTERIOR)	0.17
FIBER-CEMENT SIDING	0.93
AIR SPACE (3/4")	0.94
RIGID INSULATION (POLYISO, 3/4")	4.50
CMU (8"), FULLY GROUTED	1.11
AIR FILM (INTERIOR)	0.68
R-VALUE TOTAL	8.33
EQUIVALENT U-VALUE	0.12

WALLS, ABOVE GRADE, METAL FRAMED (U-0.064 MAX):

COMPONENT:	R-VALUE
AIR FILM (EXTERIOR)	0.17
FIBER-CEMENT SIDING	0.93
AIR SPACE (3/4")	0.94
RIGID INSULATION (POLYISO, 2")	12.00
GYPSPUM SHEATHING (5/8")	0.56
AIR SPACE (STUD CAVITY)	—
CEMENT BOARD (5/8")	—
AIR FILM (INTERIOR)	0.68
R-VALUE TOTAL	15.86
EQUIVALENT U-VALUE	0.063



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Newport, OR 97365
Newport Aquatic Center

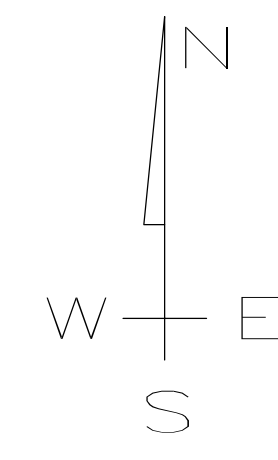
PROJECT INFORMATION

Drawn By	SS
Checked	
Date	17 JUNE 2015
Project	1419



Topographic Survey

Located at:
Highway 101/ SW Angel Street/SW 10th Street
City Hall
City of Newport, OR



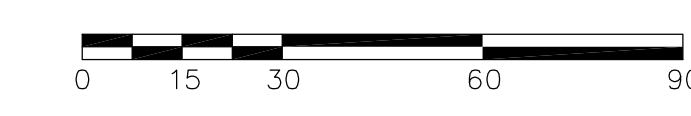
REGISTERED
PROFESSIONAL
LAND SURVEYOR
Digital Copy
OREGON
July 13, 1999
JOHN R. PARIANI
#51382
Renews: December 31, 2014

Topo Survey Last Updated January 19, 2015
Topographic Survey –
City Hall and Surrounding Areas

Pariani Land Surveying

P.O. Box 551
Shady Cove, OR 97539
541-890-1131

Date: Aug 28, 2014 Scale: 1" = 30' Job No.: 2012-095 Sheet: 1 of 1



BUILDING CODE ANALYSIS

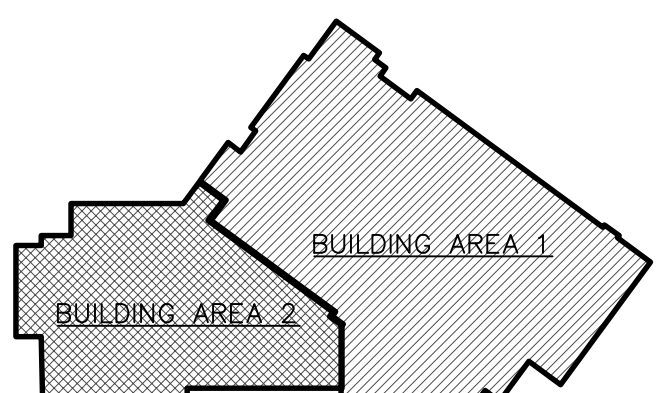
BUILDING CODE ANALYSIS BASED UPON THE 2014 OREGON STRUCTURAL SPECIALTY CODE (O.S.S.C.)

CONSTRUCTION TYPE: EXISTING RECREATION CENTER CONSTRUCTED AS TYPE VA, SPRINKLERED. DUE TO AREA LIMITATIONS A 2-HOUR FIRE WALL IS REQUIRED TO SEPARATE THE RECREATION CENTER FROM THE NATATORIUM ADDITION. NATATORIUM TO BE CONSTRUCTED AS TYPE VB.

OCCUPANCIES: A-3 (GYMNASIUMS); EXISTING
E (CHILD CENTER); EXISTING
A-4 (INDOOR SWIMMING POOL WITH SPECTATOR SEATING)

CONSIDER AS MIXED USE BUILDING, NON-SEPARATED OCCUPANCIES, WITH A OCCUPANCIES BEING MOST RESTRICTIVE

BUILDING SIZE: LOWER LEVEL, TOTAL: 2,337 SF (ADDITION)
GROUND FLOOR, TOTAL: 52,579 SF (EXISTING AND ADDITION)
SECOND FLOOR, TOTAL: 11,715 SF (EXISTING)
TOTAL BUILDING AREA: 67,738 SF



BUILDING AREA 1 (EXISTING RECREATION CENTER, LOCKER ROOM EXPANSION, TYPE VA CONSTRUCTION):
EXISTING GROUND FLOOR: 31,937 SF
ADDITION GROUND FLOOR: 2,094 SF
TOTAL GROUND FLOOR: 34,031 SF TOTAL / 39,445 SF ALLOWED (WITH FRONTAGE AND SPRINKLERS)
EXISTING SECOND FLOOR: 11,715 SF

BUILDING AREA 2 (NATATORIUM ADDITION, TYPE VB CONSTRUCTION):
ADDITION GROUND FLOOR: 18,548 SF
ADDITION LOWER LEVEL: 2,337 SF
20,700 SF ALLOWED (WITH FRONTAGE AND SPRINKLERS)

BUILDING AREA 1 ANALYSIS FOR RECREATION CENTER AND RESTROOM ADDITION (A-4 OCCUPANCY/TYPE VA CONSTRUCTION):

BASE ALLOWABLE HEIGHT: (2) STORIES/50 FEET

ALLOWABLE HEIGHT INCREASES: PROVIDING AN AUTOMATIC SPRINKLER SYSTEM CAN INCREASE BUILDING HEIGHT BY 20 FEET AND ONE STORY UNLESS THE FIRE SPRINKLER IS USED TO NEGATE FIRE-RESISTIVE CONSTRUCTION REQUIREMENTS.

NOTE: SPRINKLERS WERE NOT USED TO NEGATE FIRE-RESISTIVE CONSTRUCTION REQUIREMENTS IN ORIGINAL CONSTRUCTION OF RECREATION CENTER

BASE ALLOWABLE AREA: 11,500 SF/STORY

FRONTAGE INCREASE: ALLOWABLE AREA PER STORY CAN BE INCREASED PER OSSC 506.2
PERIMETER= 803'
FRONTAGE >30'= 584'
FRONTAGE INCREASE IS 0.47 OF BASE AREA (5,405 SF)

SPRINKLER INCREASE: ALLOWABLE AREA PER STORY CAN BE INCREASED BY AN ADDITIONAL 200% BY PROVIDING AN AUTOMATIC SPRINKLER SYSTEM, AND AN ADDITIONAL 4,945 SF DUE TO FRONTAGE ON (3) SIDES

MAXIMUM ALLOWABLE AREA: 11,500 (BASE) + 23,000 (SPRINKLERS) + 5,405 SF (FRONTAGE)= 39,905 SF/STORY

BUILDING SIZE: EXISTING GROUND FLOOR: 31,937 SF
ADDITION GROUND FLOOR: 2,094 SF
TOTAL GROUND FLOOR: 34,031 SF
EXISTING SECOND FLOOR: 11,715 SF

RATED CONSTRUCTION: FOR AREAS AS PART OF RECREATION CENTER (TYPE VA):
STRUCTURAL FRAME: 1 HOUR
BEARING WALLS, EXTERIOR: 1 HOUR IF SEPARATION <30 FEET
0 HOUR IF SEPARATION >30 FEET
BEARING WALLS, INTERIOR: 1 HOUR
NON-BEARING WALLS, EXTERIOR: 1 HOUR IF SEPARATION <30 FEET
0 HOUR IF SEPARATION >30 FEET
NON-BEARING WALLS, INTERIOR: 0 HOUR
FLOOR CONSTRUCTION: 1 HOUR
ROOF CONSTRUCTION: 1 HOUR

BUILDING AREA 2 ANALYSIS FOR NATATORIUM ADDITION (A-4 OCCUPANCY/TYPE VB CONSTRUCTION):

BASE ALLOWABLE HEIGHT: (2) STORIES/40 FEET

ALLOWABLE HEIGHT INCREASES: PROVIDING AN AUTOMATIC SPRINKLER SYSTEM CAN INCREASE BUILDING HEIGHT BY 20 FEET AND ONE STORY UNLESS THE FIRE SPRINKLER IS USED TO NEGATE FIRE-RESISTIVE CONSTRUCTION REQUIREMENTS.

MAXIMUM ALLOWABLE AREA: (30 STORIES/60 FEET (LIMITED TO 50 FEET PER ZONING))

BASE ALLOWABLE AREA: 6,000 SF/STORY

FRONTAGE INCREASE: ALLOWABLE AREA PER STORY CAN BE INCREASED PER OSSC 506.2
PERIMETER= 594'
FRONTAGE >30'= 421'
FRONTAGE INCREASE IS 0.45 OF BASE AREA (2,700 SF)

SPRINKLER INCREASE: ALLOWABLE AREA PER STORY CAN BE INCREASED BY AN ADDITIONAL 200% BY PROVIDING AN AUTOMATIC SPRINKLER SYSTEM.

MAXIMUM ALLOWABLE AREA: 6,000 (BASE) + 2,700 (FRONTAGE) + 12,000 (SPRINKLERS)= 20,700 SF/STORY

BUILDING SIZE: ADDITION GROUND FLOOR: 18,548 SF
ADDITION LOWER LEVEL: 2,337 SF

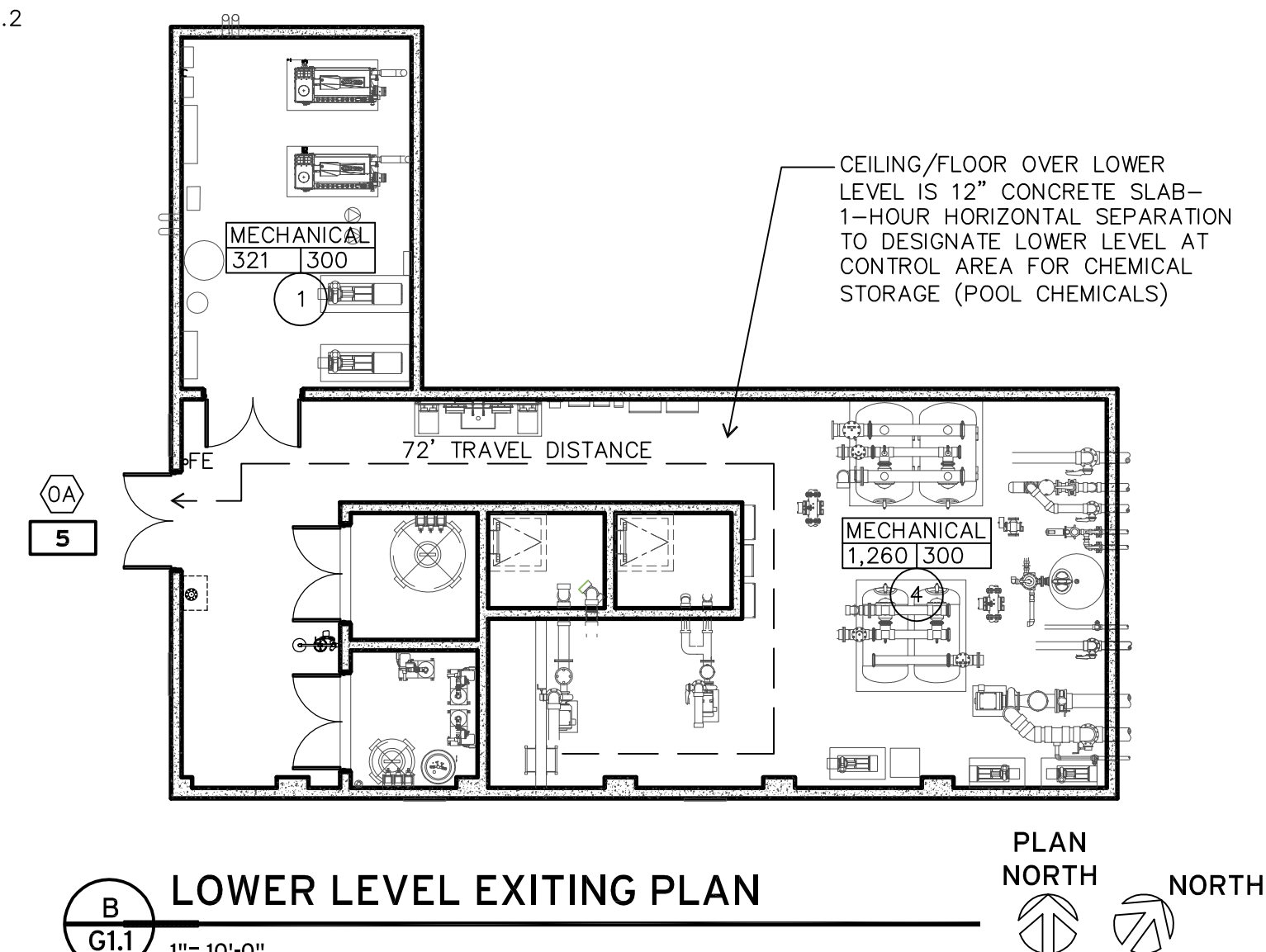
RATED CONSTRUCTION: FOR NATATORIUM AND MECHANICAL SPACES (TYPE VB)
STRUCTURAL FRAME: 0 HOUR
BEARING WALLS, EXTERIOR: 0 HOUR IF SEPARATION <30 FEET
0 HOUR IF SEPARATION >30 FEET
BEARING WALLS, INTERIOR: 0 HOUR
NON-BEARING WALLS, EXTERIOR: 0 HOUR IF SEPARATION <30 FEET
0 HOUR IF SEPARATION >30 FEET
NON-BEARING WALLS, INTERIOR: 0 HOUR
FLOOR CONSTRUCTION: 0 HOUR
ROOF CONSTRUCTION: 0 HOUR

EXITING PLAN LEGEND

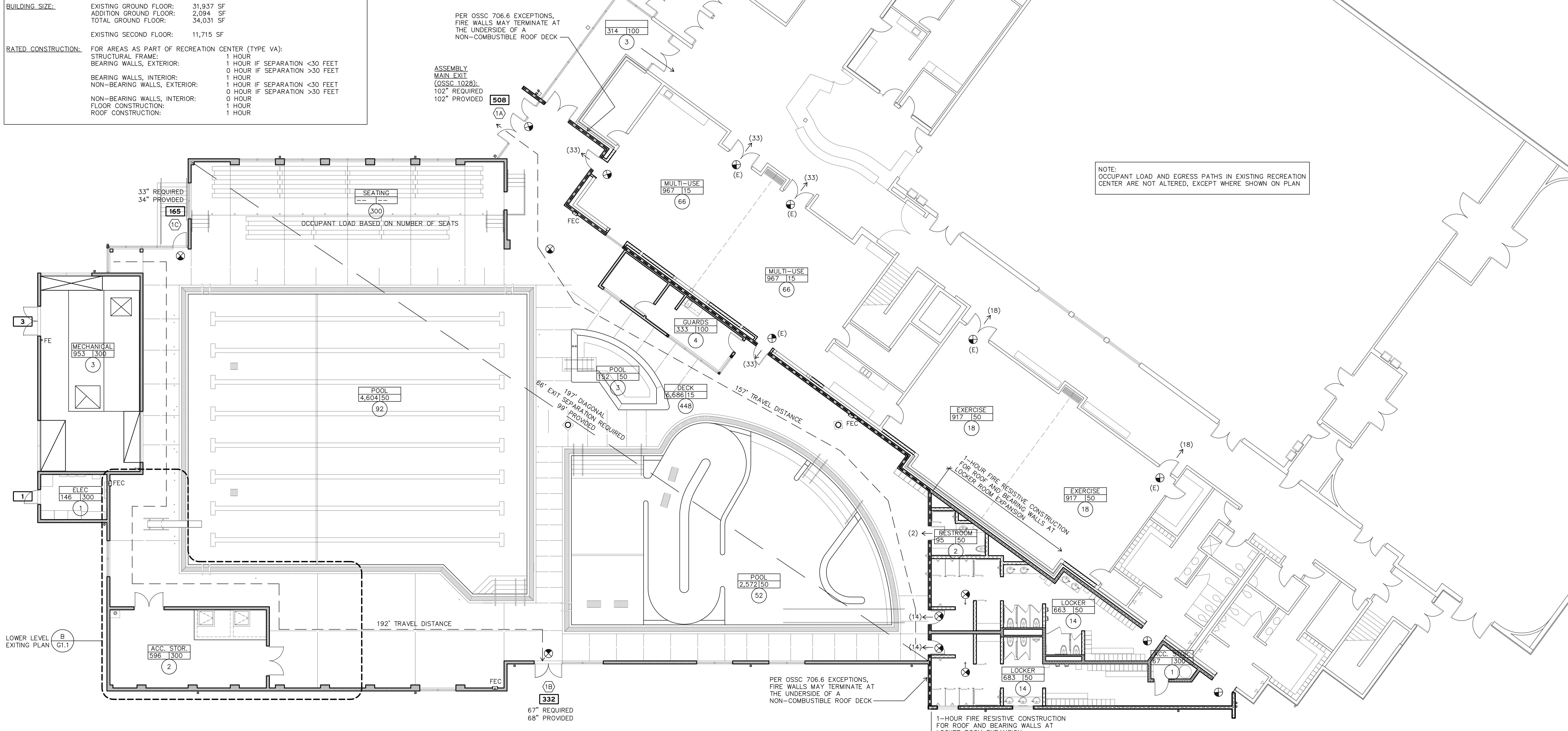
- 100** REPRESENTS THE ENTIRE OCCUPANT LOAD EXITING THROUGH THIS EXIT DOOR
- (1A)** EXIT NUMBER
- (127)** EXITING LOAD THROUGH DOOR OR STAIR
- (X)** EXIT SIGN
- FEC/FE** FIRE EXTINGUISHER CABINET/FIRE EXTINGUISHER
- 2-HOUR FIRE WALL
- 1-HOUR FIRE RESISTIVE CONSTRUCTION

OCCUPANCY STATISTICS

- 100** ROOM USE PER TABLE 1004.1.2
- (1)** OCCUPANT LOAD FACTOR
- (1)** NUMBER OF OCCUPANTS
- (1)** AREA IN SQUARE FEET



LOWER LEVEL EXITING PLAN PLAN NORTH NORTH
1"= 10'-0"



MAIN LEVEL EXITING PLAN PLAN NORTH NORTH
1"= 10'-0"

REGISTERED ARCHITECT
CARL A. SHERWOOD
EUGENE, OREGON
STATE OF OREGON

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Newport, OR 97365

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132 East Broadway, Suite 540
Eugene, Oregon 97401

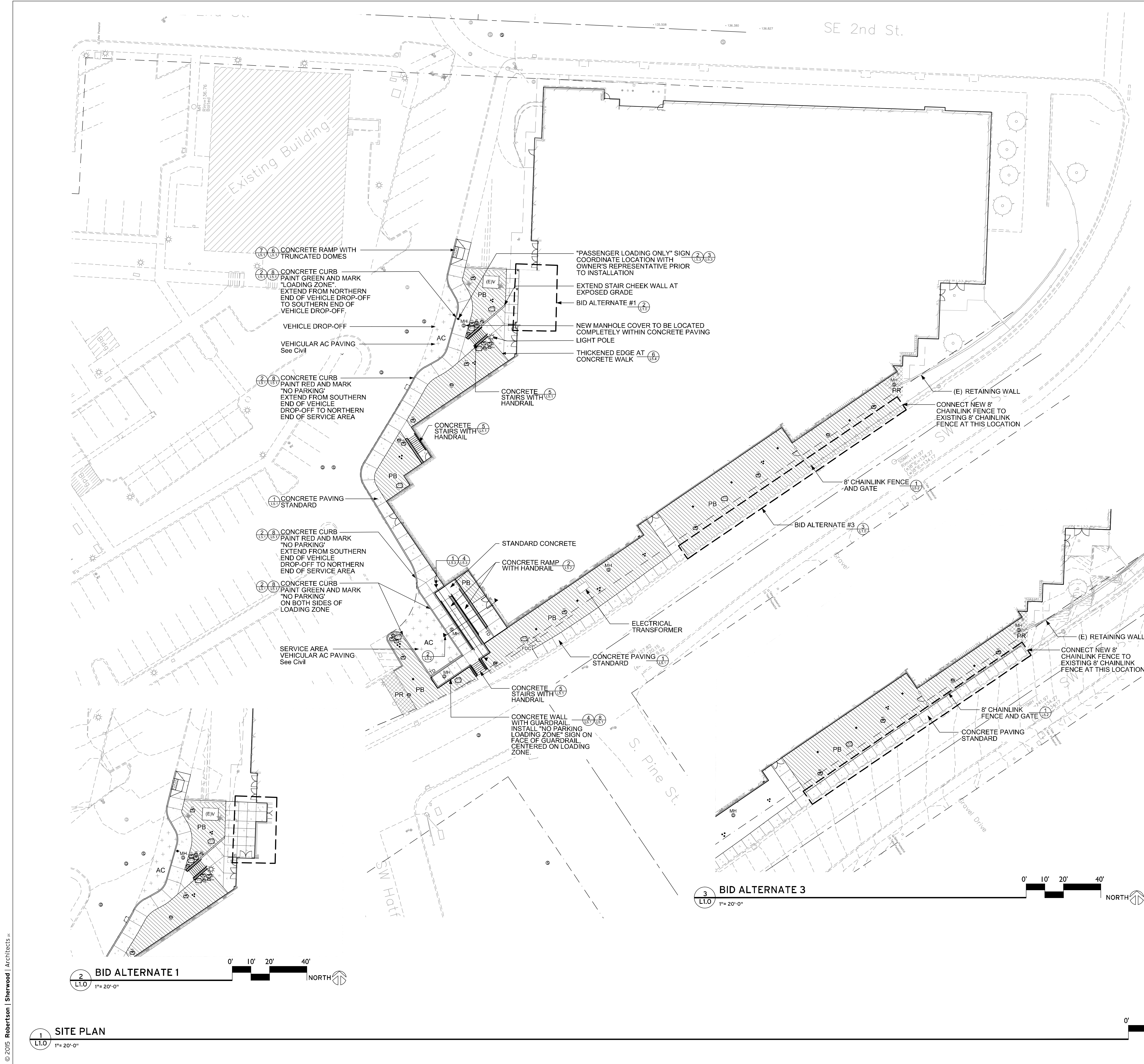
Newport Aquatic Center

EXITING PLAN

Drawn By: SS
Checked: SS
Date: 17 JUNE 2015
Project: 1419

G1.1

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LEGEND

	PROPERTY LINE
	PROPOSED TREE CENTERS See Landscape Plan L3.0
	CONCRETE PAVING - STANDARD 4" concrete with #4 rebar, 18" o.c. both ways, over 4" crushed rock.
	VEHICULAR AC PAVING 3" AC Paving over 2" of 3"-0 aggregate leveling course, then 4-6" of 1 1/2"-0 aggregate base course. See Civil.
	PLANT BED Non-irrigated
	PLANT BED REPAIR
	CONCRETE WALL
	HANDRAIL
	8" CHAINLINK FENCE AND GATE
	ACCENT STONES LG - Large MD - Medium SM - Small
	TRENCH DRAIN See Specifications
(E)	EXISTING
	(E) MANHOLE COVER To remain
	(E) VAULT To remain
	(E) FIRE HYDRANT To remain or be relocated See Civil
	NEW MANHOLE COVER See Civil
	NEW FDC See Civil
	NEW UTILITY VAULT See Civil and Electrical
	TRUNCATED DOME 24" WIDTH IN THE DIRECTION OF TRAVEL
	EXISTING LIGHT POLE To be relocated. Install center of pole 18" from face of concrete pad and 18" from face of stair cheek wall. See City Standard Detail 290.82. Coordinate exact location with Owner's Representative
	(E) WATER METER To remain

- NOTES**
- All survey information provided by: Pariani Land Surveying P.O. Box 551 Shady Cove, OR 97539 P: 541.890.1131 Dated: 08.28.2014 updated:
 - Verify exact locations and routing of existing underground utilities prior to starting excavation. Repair any damage to existing pipes, utilities or related facilities at Contractor's expense in a manner approved by Owner's Representative.
 - Barricade and protect trunks, limbs, roots and root zones beyond dripline of existing trees and plant materials to remain as directed by Owner's Representative. Cut no limbs or roots larger than 1.5" in diameter without approval of Owner's Representative. Notify Owner's Representative prior to performing any excavation within Tree Protection Fence or Zone of Protection.
 - Install new utilities so that rim elevations are flush with finish grades at pavement, lawn and plant beds. Adjust rim elevations of existing utilities accordingly.
 - All accessible components including, but not limited to signs, ramps, tactile warning, markings, etc. shall conform to all Oregon State Standards for parking and access for the disabled. Obtain approval from Owner's Representative prior to installing any related work.
 - In addition to improvements shown, repair all areas disturbed or damaged by construction impacts to the condition that existed prior to construction.
 - Verify existing elevations where new work abuts existing to remain. Notify Owner's Representative of any discrepancies.

1 SITE PLAN
L1.0 1"= 20'-0"

2 BID ALTERNATE 1
L1.0 1"= 20'-0"

3 BID ALTERNATE 3
L1.0 1"= 20'-0"

REGISTERED LANDSCAPE ARCHITECT
MATTHEW S. KOEHLER
OREGON 192203

225 SE AVENUE STREET
NEWPORT, OR 97135

Robertson Sherwood Architects pc
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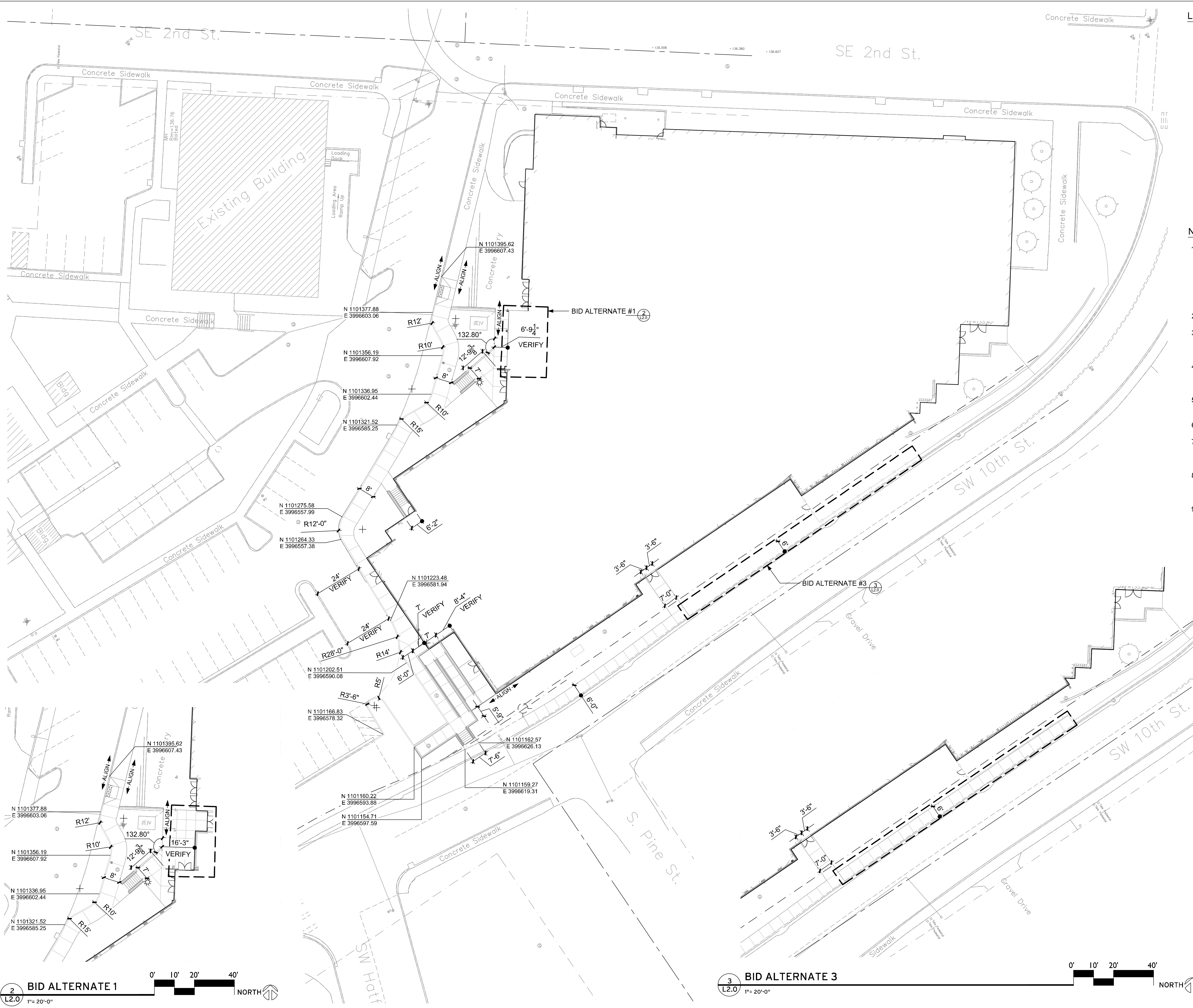
132 East Broadway, Suite 540
Eugene, Oregon 97401

CAMERON MCCARTHY
LANDSCAPE ARCHITECTURE & PLANNING
1818 NE 10th Street, Eugene, OR 97401
www.cameronmccarthy.com • 541.682.2888

Site Plan

Drawn By	Checked	Date	Project
		17 JUNE 2015	1419

L1.0



LEGEND

- PROPERTY LINE
- 15' DIMENSION
- 15' DIMENSION FROM EXISTING ELEMENT / FACE OF BUILDING OR BASELINE
- ← ALIGN → ALIGN ELEMENTS
- N 1101264.33 E 3996557.38 NORTHING AND EASTING COORDINATES
- R=6' RADIUS DIMENSION

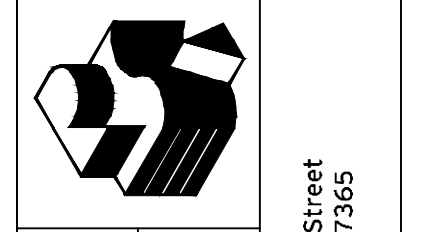
- NOTES**
- All survey information provided by: Pariani Land Surveying, P.O. Box 551, Shady Cove, OR 97539, P: 541.890.1131, Dated: 08.28.2014, updated:
 - Verify existing conditions in the field. Notify Owner's Representative of any discrepancies.
 - Verify exact locations and routing of existing underground utilities prior to starting excavation. Repair any damage to existing pipes, utilities or related facilities at Contractor's expense in a manner approved by Owner's Representative.
 - Cease layout work and notify Owner's Representative of any discrepancies in project benchmarks, control points, coordinates, dimensions, degrees, locations, stakes, etc. Obtain approval prior to executing any layout work different from that shown or specified.
 - Locate all concrete paving joints as shown on Site and Layout Plans. All concrete paving joints not specifically dimensioned shall be equally spaced between shown or noted limits.
 - All dimensions are at the exposed face of element (curb or walk) unless noted otherwise.
 - All accessible components including, but not limited to signs, ramps, tactile warning, markings, etc. shall conform to all Oregon state standards for parking and access for the disabled. Obtain Owner's Representative's approval prior to installing any related work.
 - See Civil Plans for locations of all drainage structures (deck drains, trench drains, catch basins and area drains). Coordinate exact location with Owner's Representative of concrete edge and jointing locations shown on Site Plan prior to installation.
 - Match new concrete sidewalk to existing sidewalk at nearest joint.

2 BID ALTERNATE 1
L2.0 1"= 20'-0"

3 BID ALTERNATE 3
L2.0 1"= 20'-0"

1 LAYOUT PLAN
L2.0 1"= 20'-0"

0' 10' 20' 40' NORTH



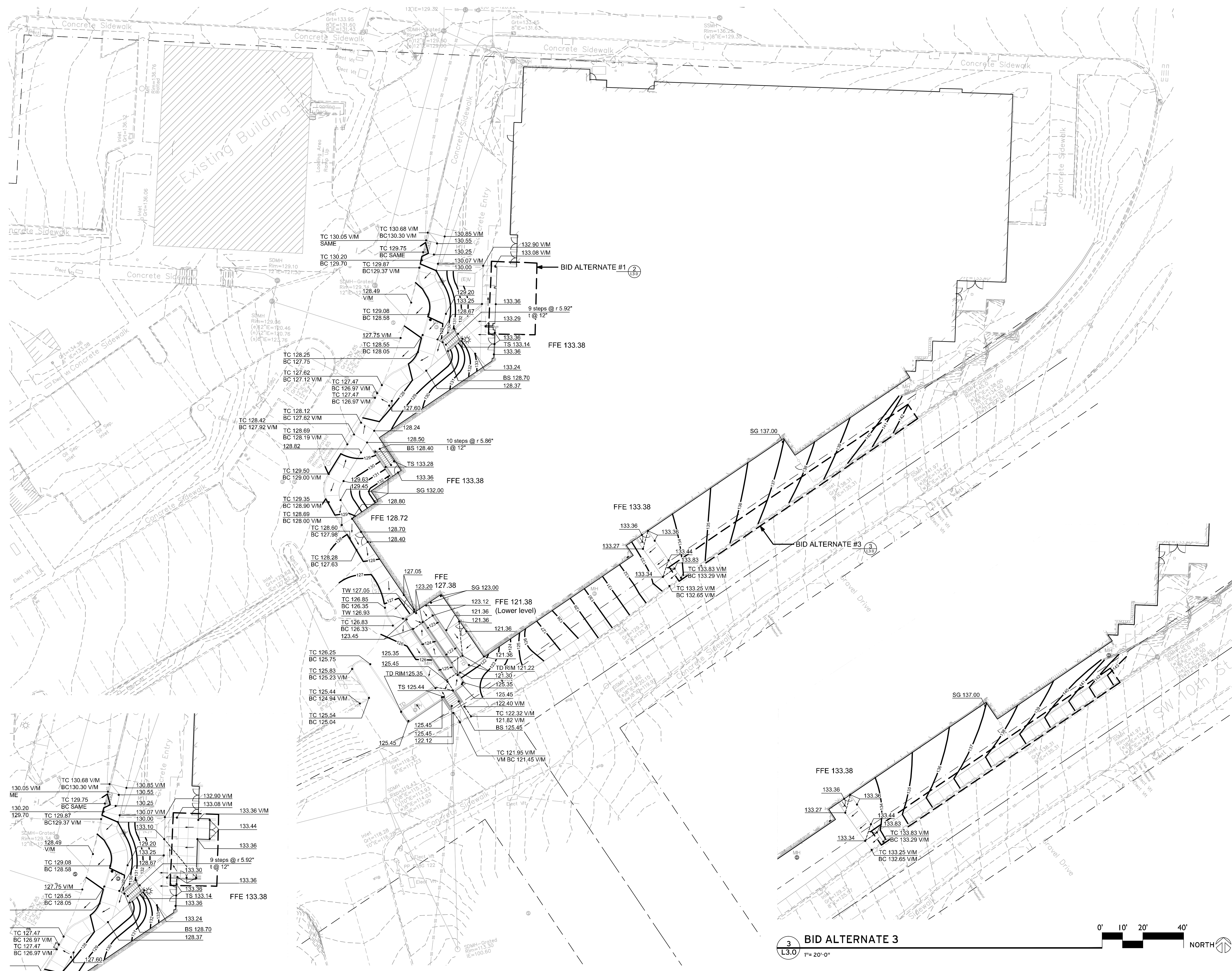
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 P 541 342.8077 F 541 342.4902
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 Newport, OR 97135

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 LANDSCAPE ARCHITECTURE & PLANNING
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Layout Plan

Drawn By	Checked	Date	Project
		17 JUNE 2015	1419

L2.0



LEGEND

FFE	FINISH FLOOR ELEVATION
432.25	SPOT ELEVATION
TC 432.25 BC 431.75	TOP OF CURB ELEVATION BOTTOM OF CURB ELEVATION
TS 432.25 BS 431.75	TOP OF STAIR ELEVATION BOTTOM OF STAIR ELEVATION
TW 432.25 BW 431.75	TOP OF WALL ELEVATION BOTTOM OF WALL ELEVATION
A22	NEW CONTOUR LINE
[Symbol]	BREAK IN PLANE Arrow indicates direction of flow
VM	VERIFY EXISTING SPOT GRADE AND MATCH ELEVATION See Note #6 and #8.
SG	SOIL GRADE
(E) CONTOURS	

- NOTES**
- All survey information provided by: Pariani Land Surveying, P.O. Box 551, Shady Cove, OR 97539, P: 541.890.1131, Dated: 08.28.2014
 - Verify exact locations and routing of existing underground utilities prior to starting excavation. Repair any damage to existing pipes, utilities or related facilities at Contractor's expense in a manner approved by Owner's Representative.
 - Barricade and protect trunks, limbs, roots and root zones beyond dripline of existing trees and plant materials to remain as directed by Owner's Representative. Cut no limbs or roots larger than 2" in diameter without approval of Owner's Representative. Notify Owner's Representative prior to performing any excavation within protection areas.
 - All accessible components including, but not limited to signs, ramps, tactile warning, markings, etc. shall conform to all Oregon State Standards for parking and access for the disabled. Obtain Owner's Representative's approval prior to installing any related work.
 - Install new utilities so that rim elevations are flush with finish grades at pavement, lawn and plant beds. Adjust rim elevations of existing utilities accordingly.
 - Verify existing elevations where new work abuts existing to remain. Notify Owner's Representative of any discrepancies prior to any construction.
 - Adjust rim elevations of existing utilities so that rims are flush with finish grade at new paving and lawns.
 - Blend all new elevations back to existing grade to create a uniform slope. Maximum slope, 4:1.
 - Construct smooth transitions between new paving improvements and existing paving to remain.
 - Verify that all slopes and cross-slopes meet current ADA requirements. Cross-slope must not exceed 2%. No accessible path is to exceed 5% slope, except where designated with handrails and then is not to exceed 8.3%. Field verify existing and designated slopes. Notify Owner's Representative if designed slopes exceed requirements prior to installation.

2 BID ALTERNATE 1
L3.0 1"= 20'-0" NORTH

3 BID ALTERNATE 3
L3.0 1"= 20'-0" NORTH

1 GRADING PLAN
L3.0 1"= 20'-0" NORTH



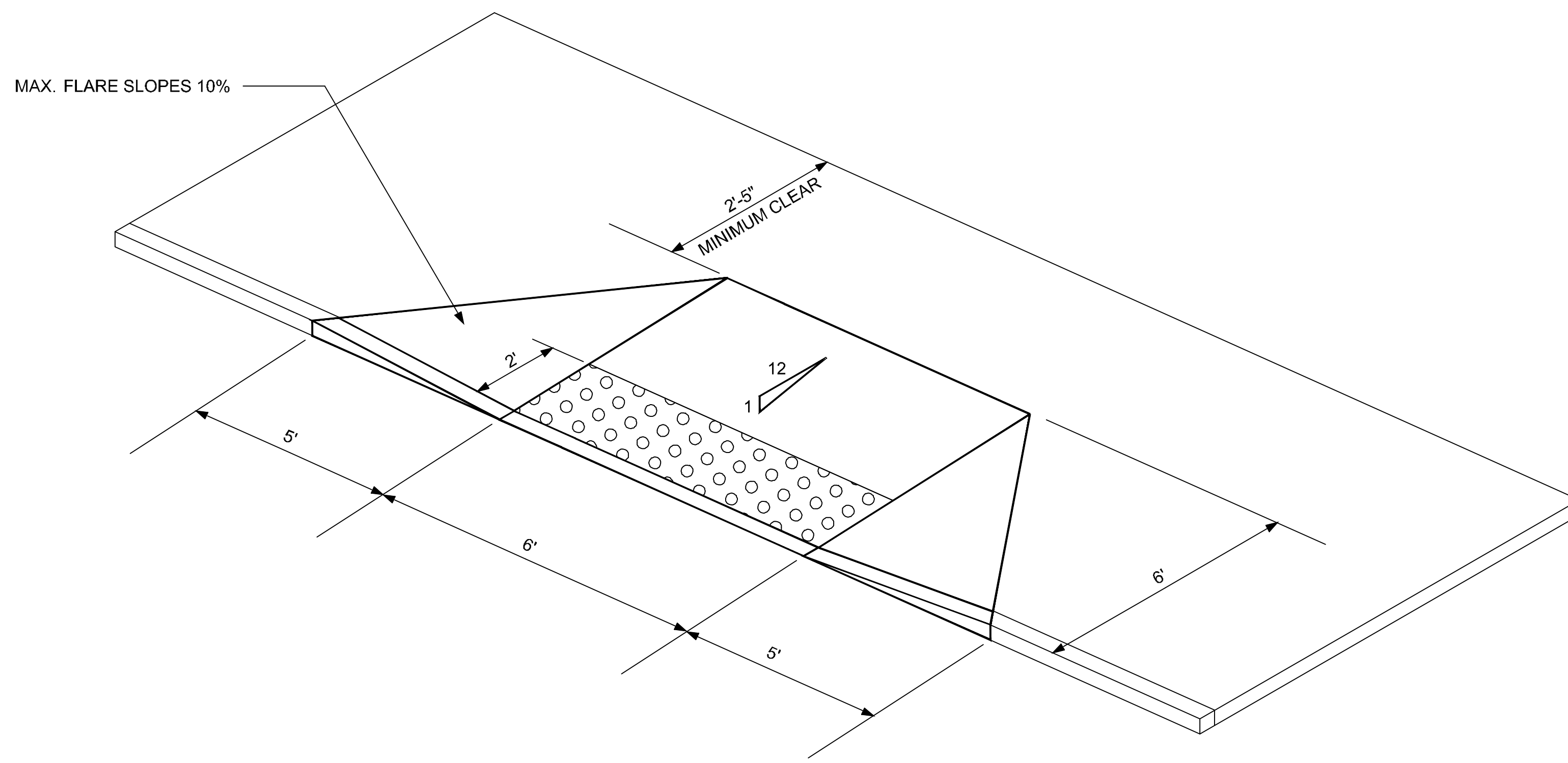
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Grading Plan

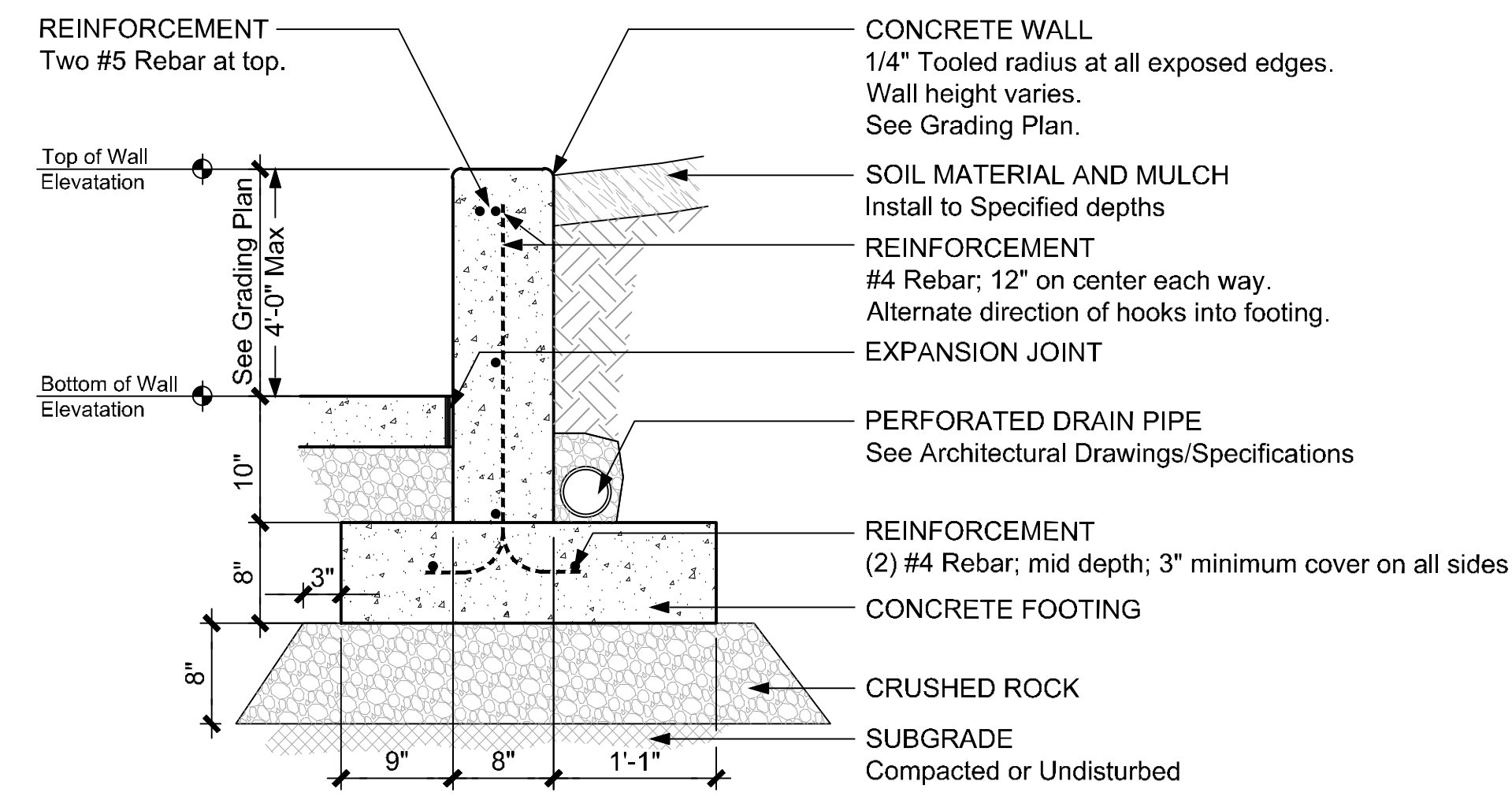
Drawn By	
Checked	
Date	17 JUNE 2015
Project	1419

L3.0



PERPENDICULAR SIDEWALK RAMP

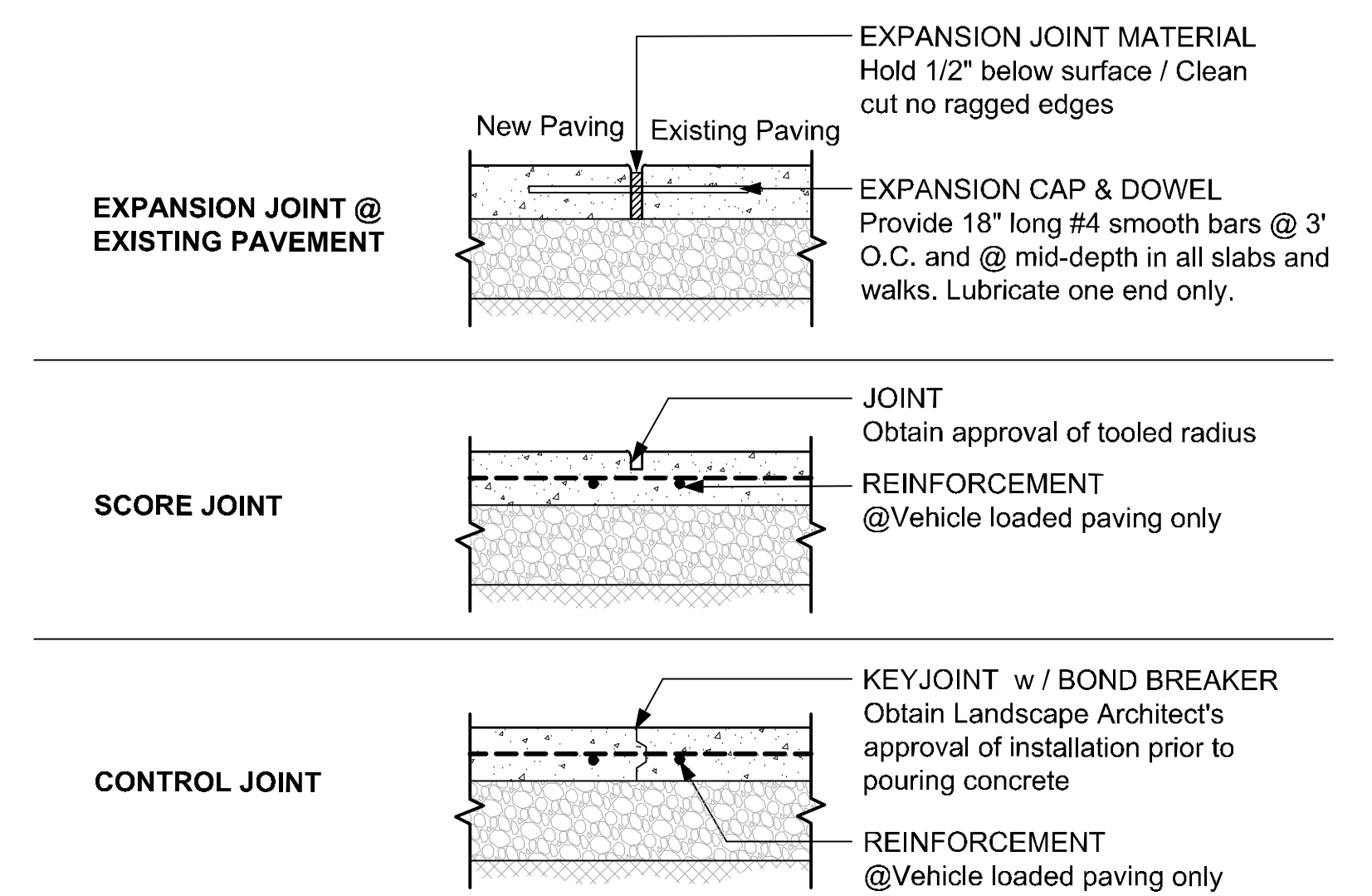
NTS 6



- NOTES**
1. See Grading Plan for Top of Wall elevation.
 2. See Specifications for wall finish.

CONCRETE WALL

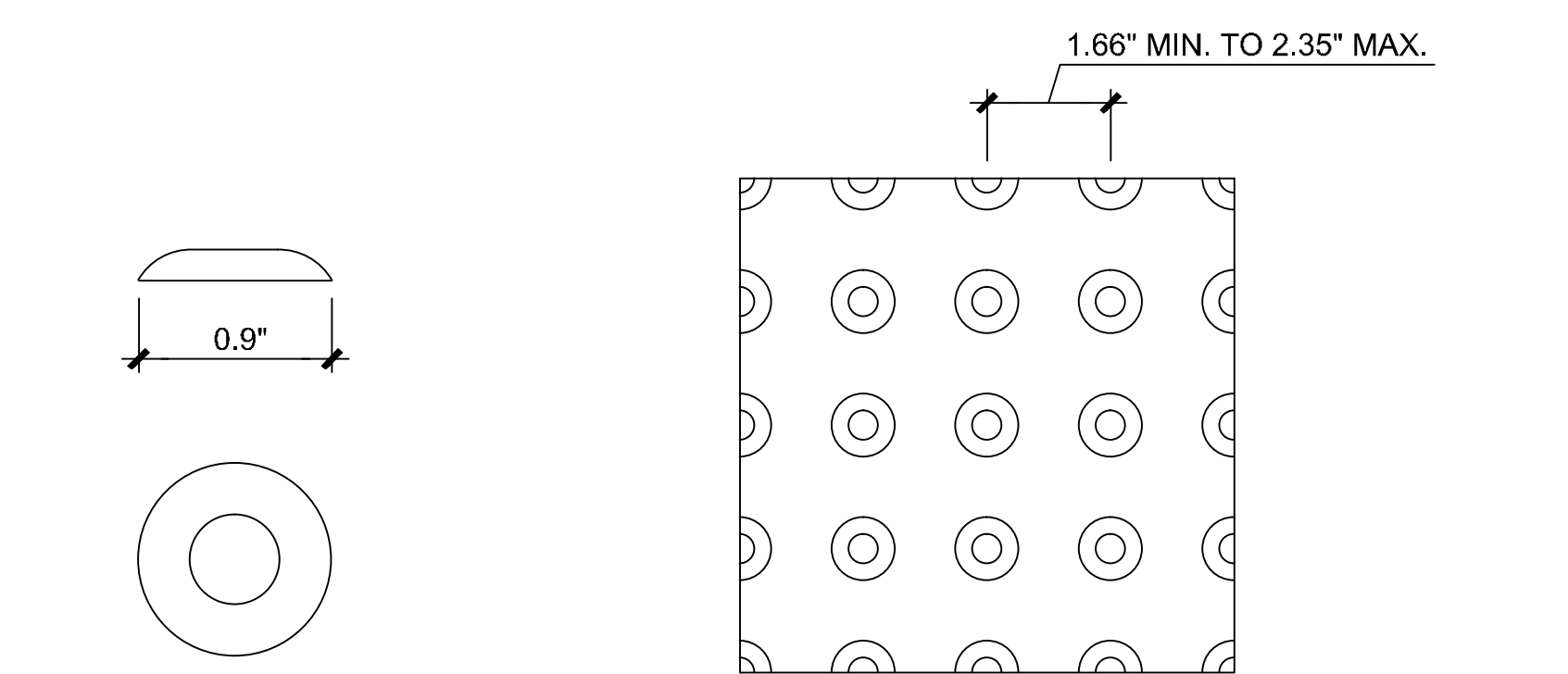
NTS 4



- NOTES**
1. Locate joints where shown on Drawings and as Specified.
 2. Provide sample of concrete joint finishing tools for approval of joint radius and depth.

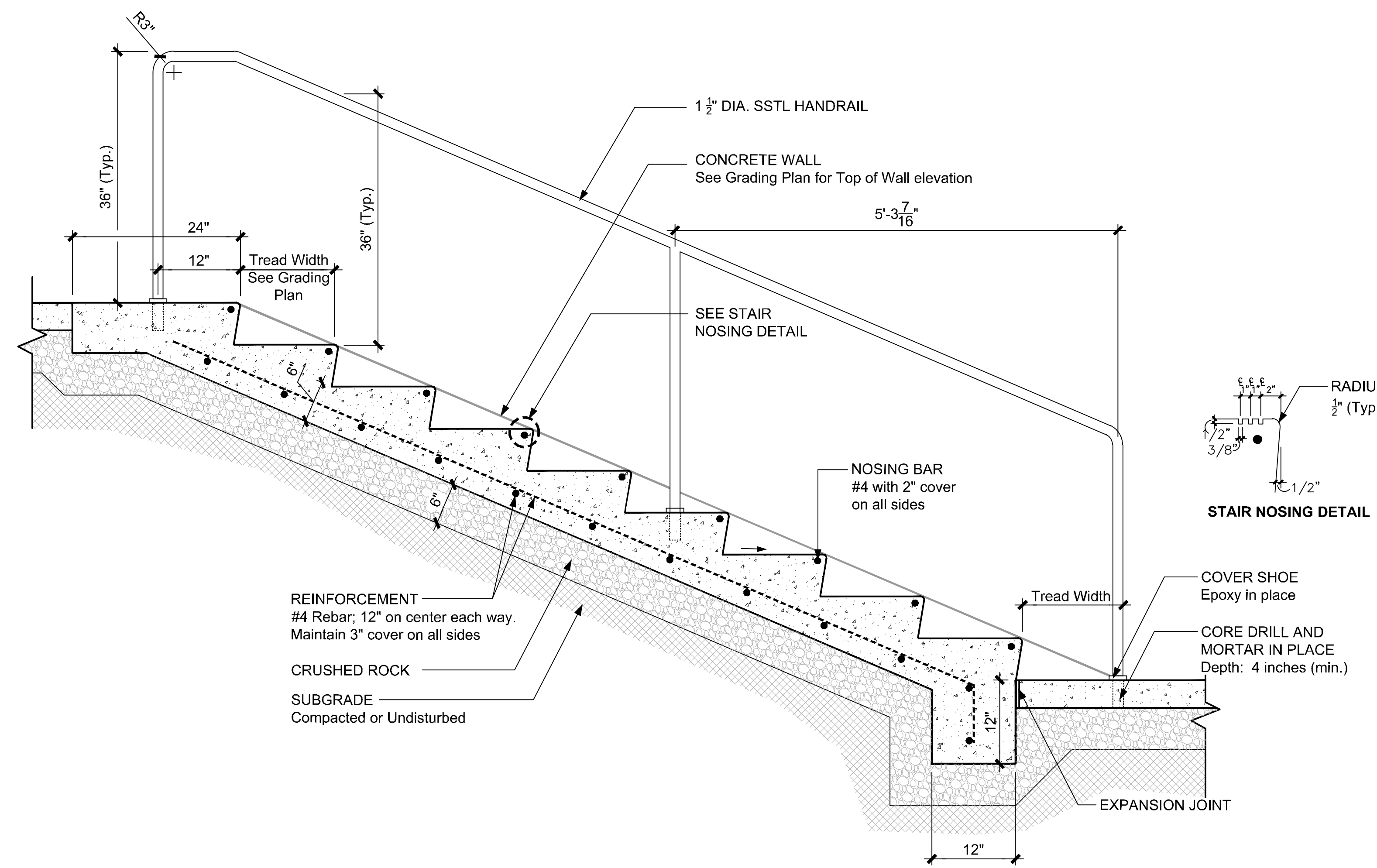
CONCRETE JOINTS

NTS 1



TRUNCATED DOME AT RAMP

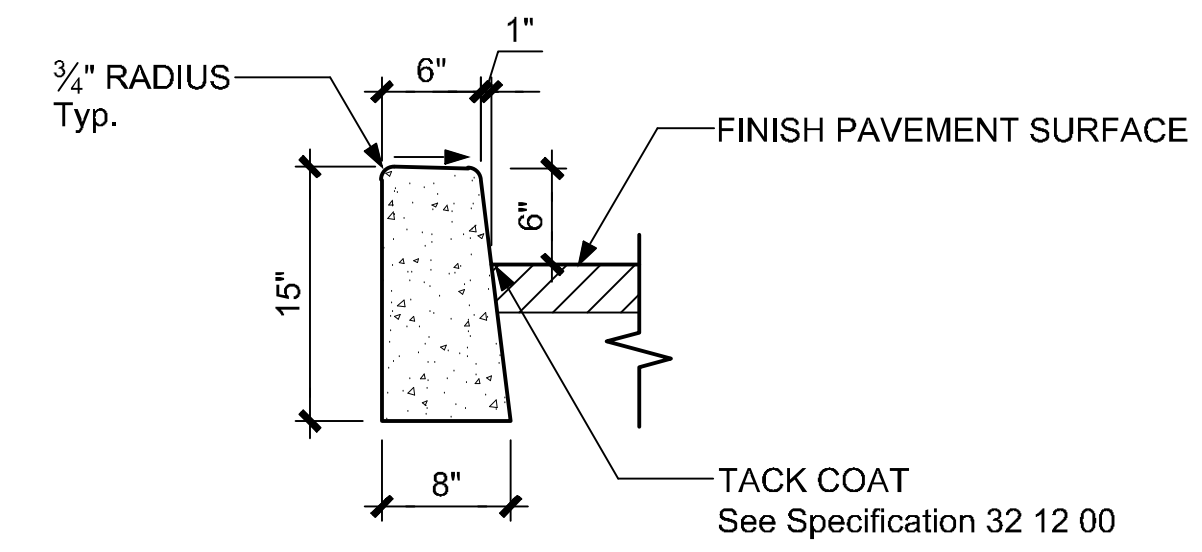
NTS 7



- NOTES**
1. See Grading Plan for stair riser/tread relationship.
 2. Construct stair nosing to conform with ADA Standard 4.93' Nosing.
 3. Provide positive drainage at each stair tread. 2% maximum slope.

CONCRETE STAIRS AND HANDRAIL

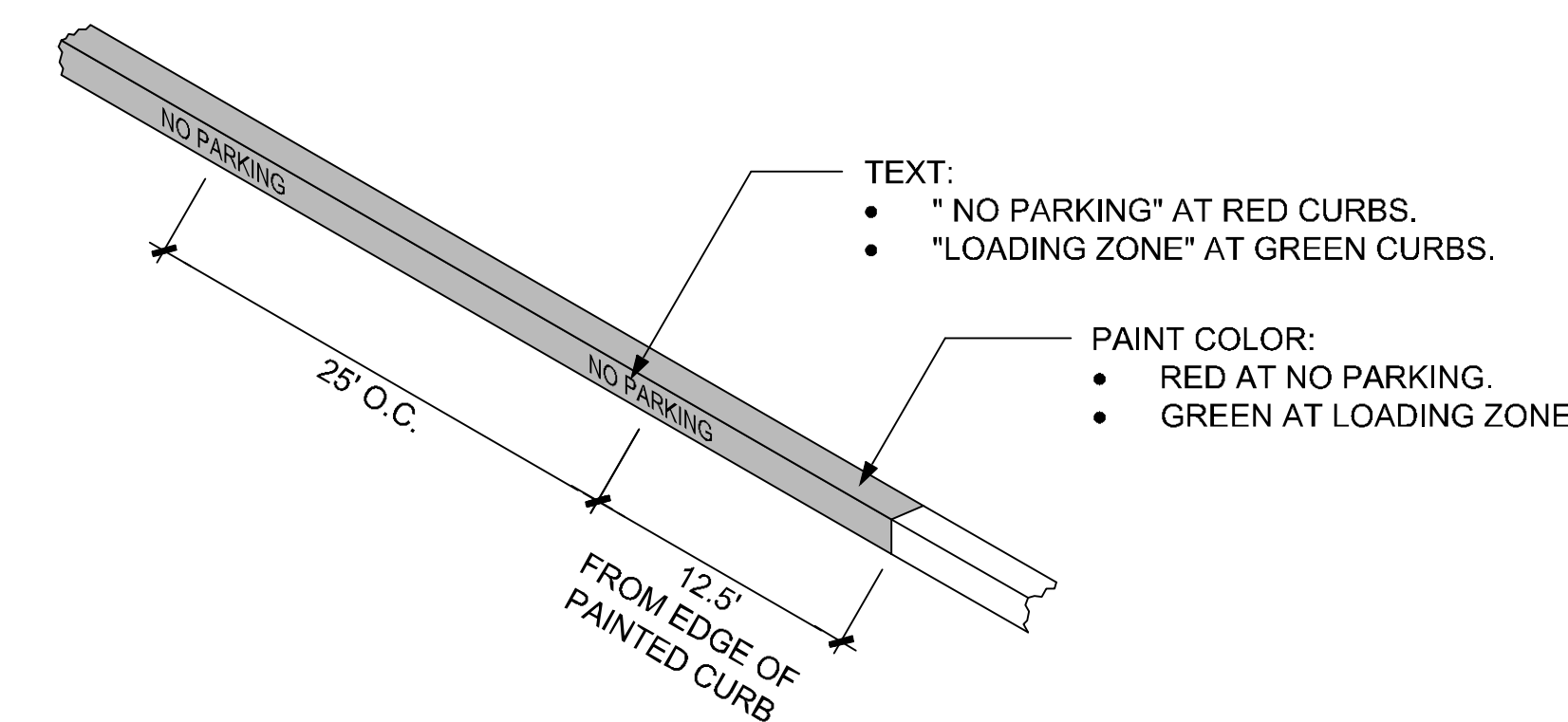
NTS 5



- NOTES**
1. Slope top of curb toward AC 2%.
 2. Provide expansion joints @ 100' o.c. max. and @ all points of tangency.
 3. Sawcut green concrete control joints @ 20' max.
 4. Drop top of curb @ ramp and aprons.

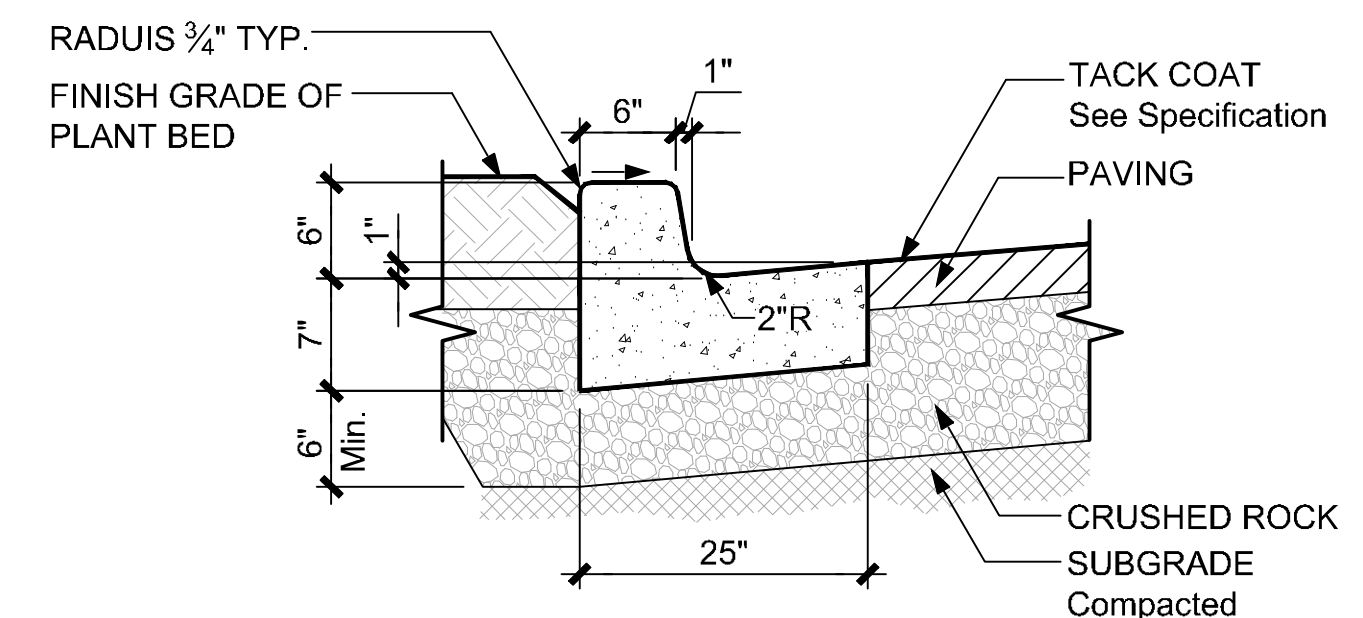
CONCRETE CURB - STANDARD

NTS 2



NO PARKING PAINTED CURB DETAIL

NTS 8



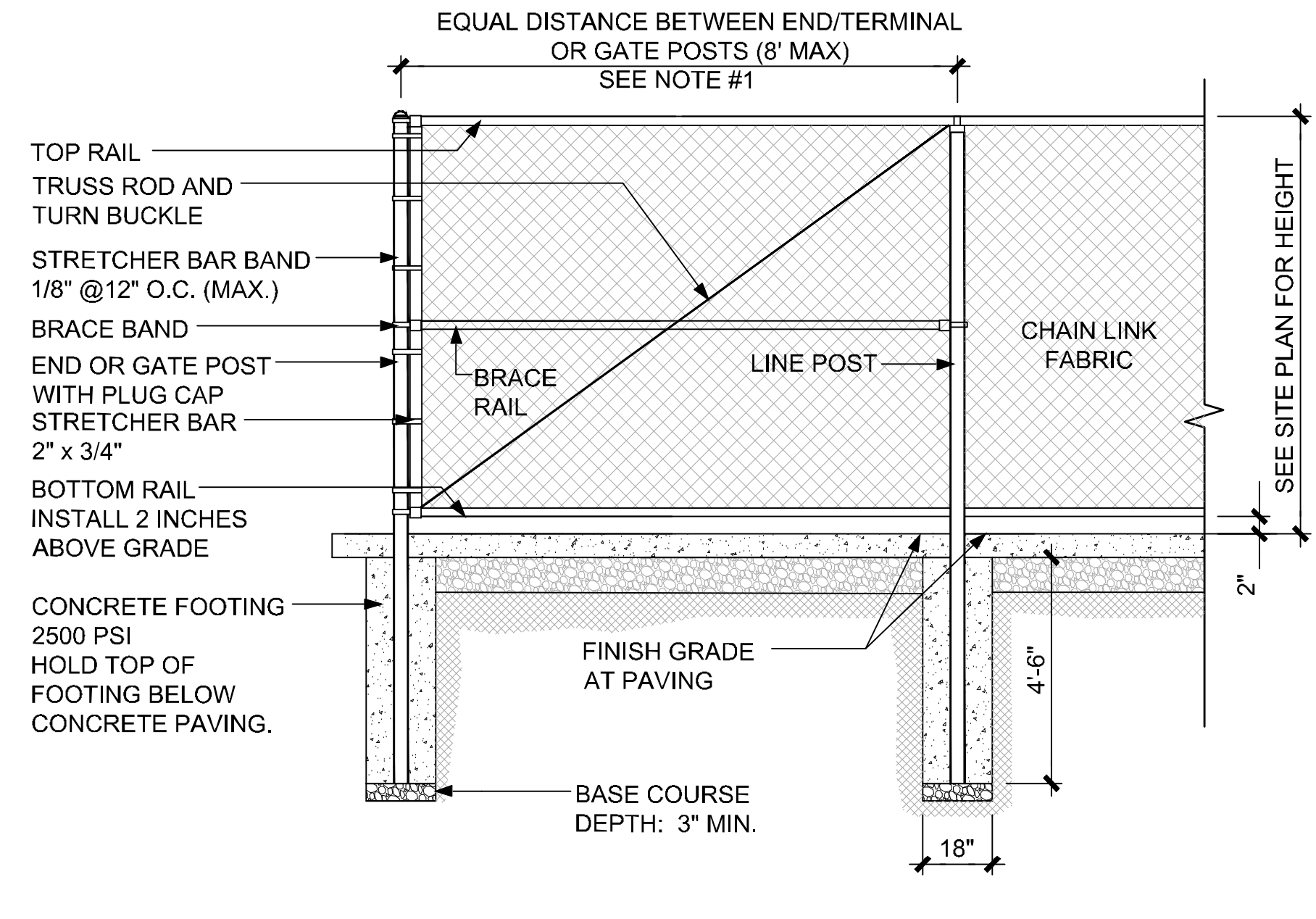
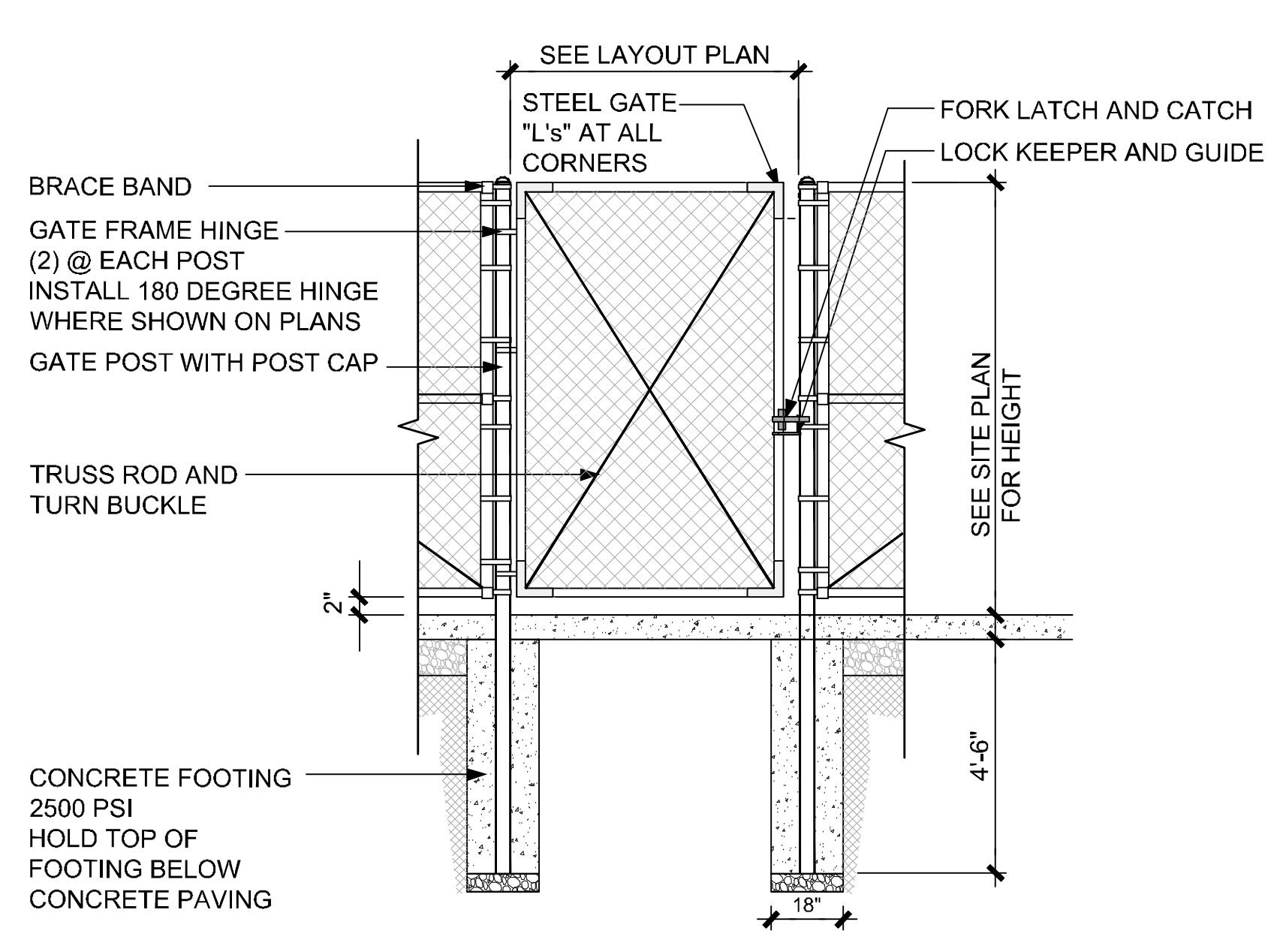
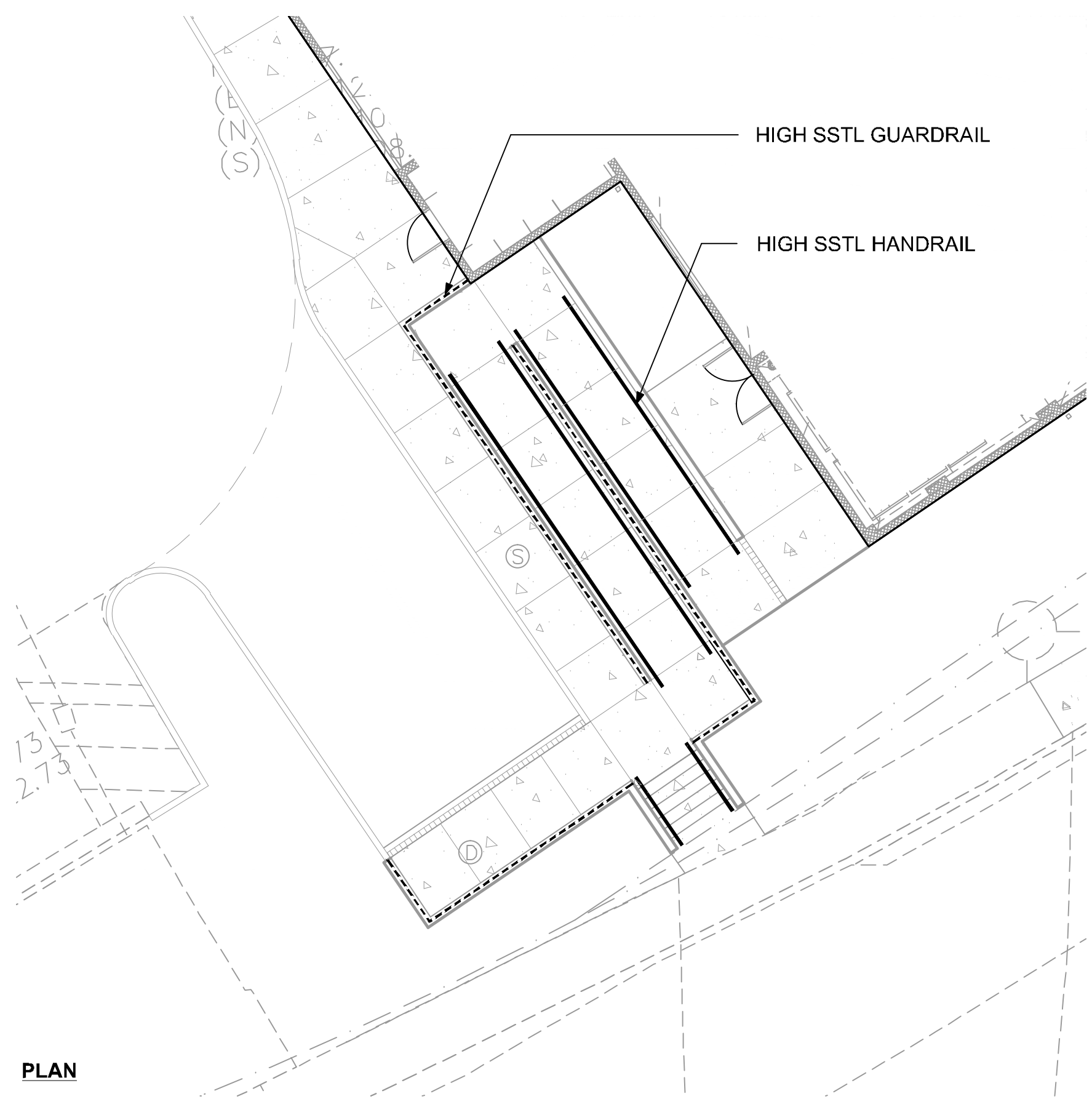
- NOTES**
1. Slope top of curb toward gutter 2%.
 2. Provide smooth transitions from and to connecting valley gutters.
 3. Match direction of gutter bar pitch to pitch of adjacent paving.
 4. Provide expansion joints @ 100' O.C. Max and @ all points of tangency.
 5. Sawcut green control joints @ 20' O.C. max.

CONCRETE CURB AND GUTTER

NTS 3

LEGEND

----- 42" SSSL GUARDRAIL
 ———— 36" SSSL HANDRAIL

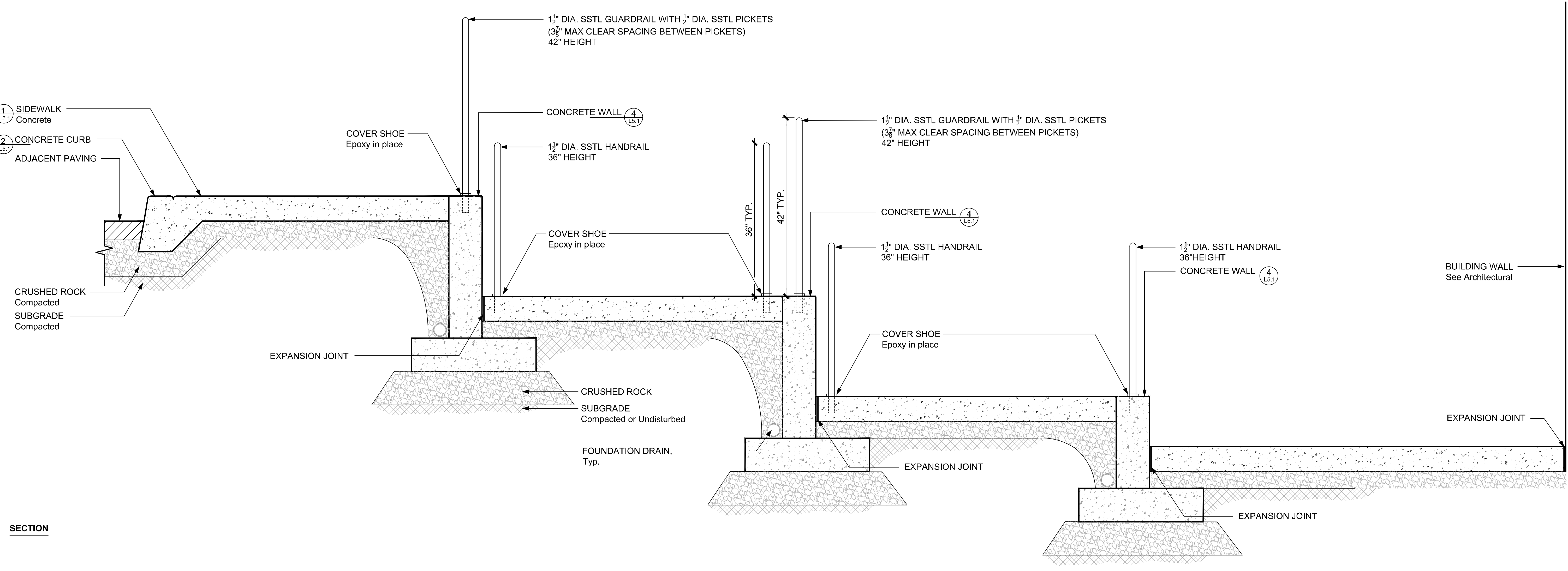


NOTES

- COORDINATE LAYOUT AND INSTALLATION WITH CONCRETE WORK. LOCATE FENCE POSTS AT CONCRETE SCORE JOINTS AS SHOWN ON PLANS WHERE APPLICABLE.
- SUBMIT SHOP DRAWINGS FOR FENCE, GATE, AND ASSEMBLIES AS SPECIFIED.
- SEE SPECIFICATIONS FOR FINISHES AND MATERIALS.
- CONFIRM GATE SWING IS NOT IMPEDED BY SURROUNDING GRADES OR SITE ELEMENTS PRIOR TO FABRICATION.

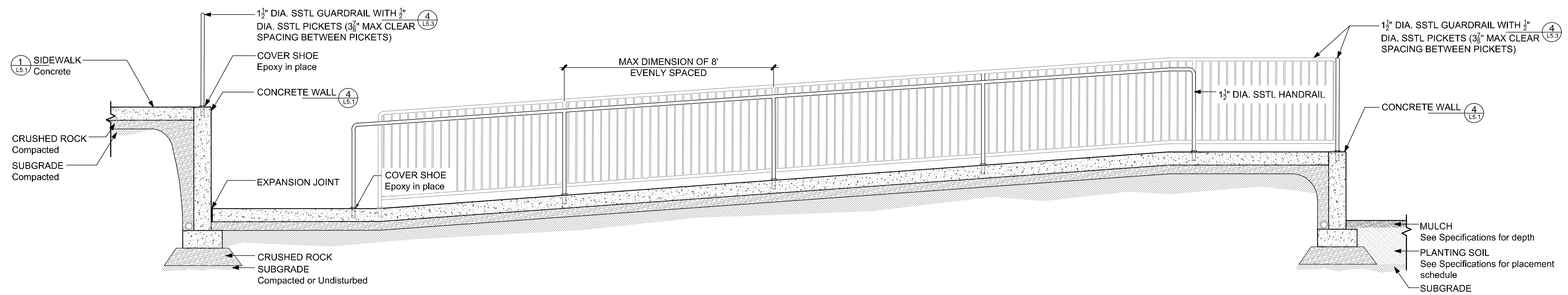
CHAINLINK FENCE AND GATE

NTS ①



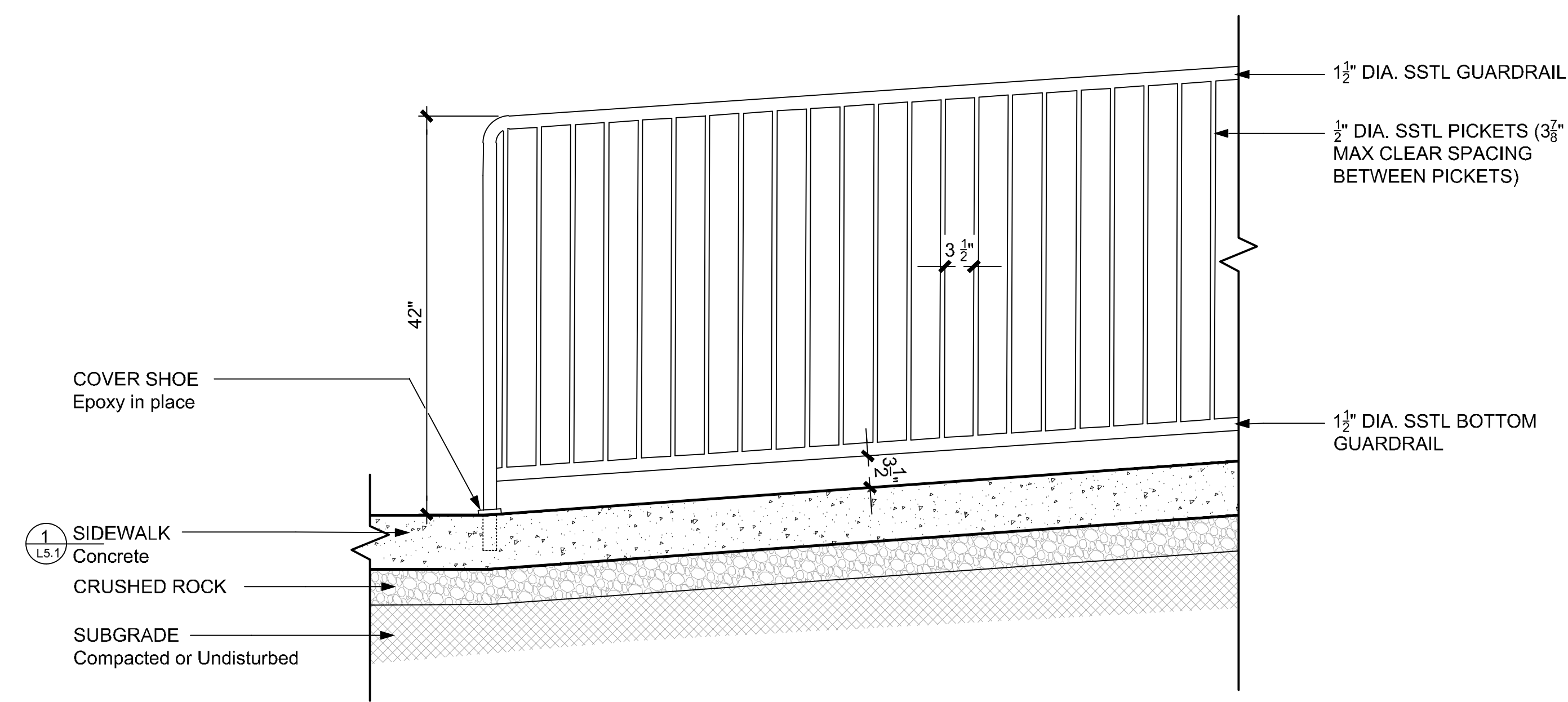
SECTION
 CONCRETE RAMP WITH HANDRAIL

NTS ②



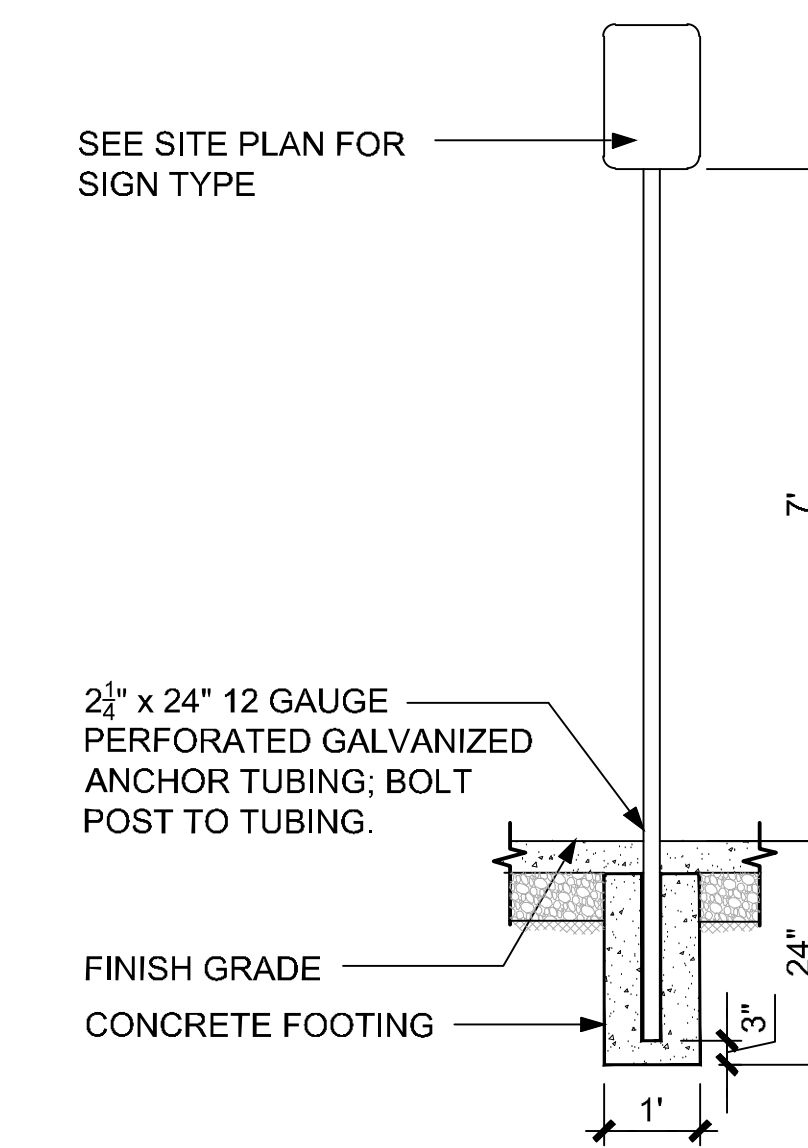
CONCRETE RAMP WITH HANDRAIL

NTS 1



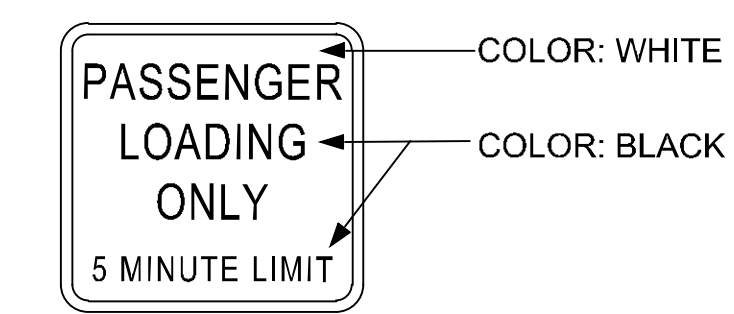
CONCRETE RAMP WITH HANDRAIL

4

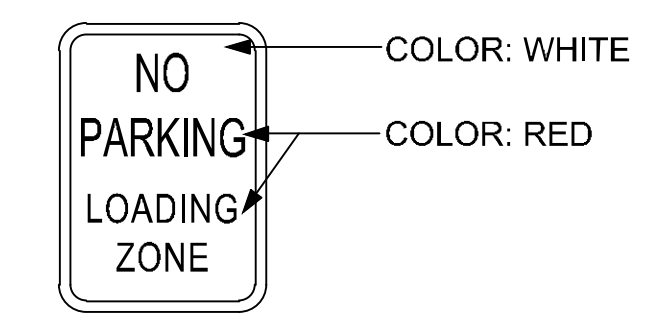


SIGN POST DETAIL

NTS 2



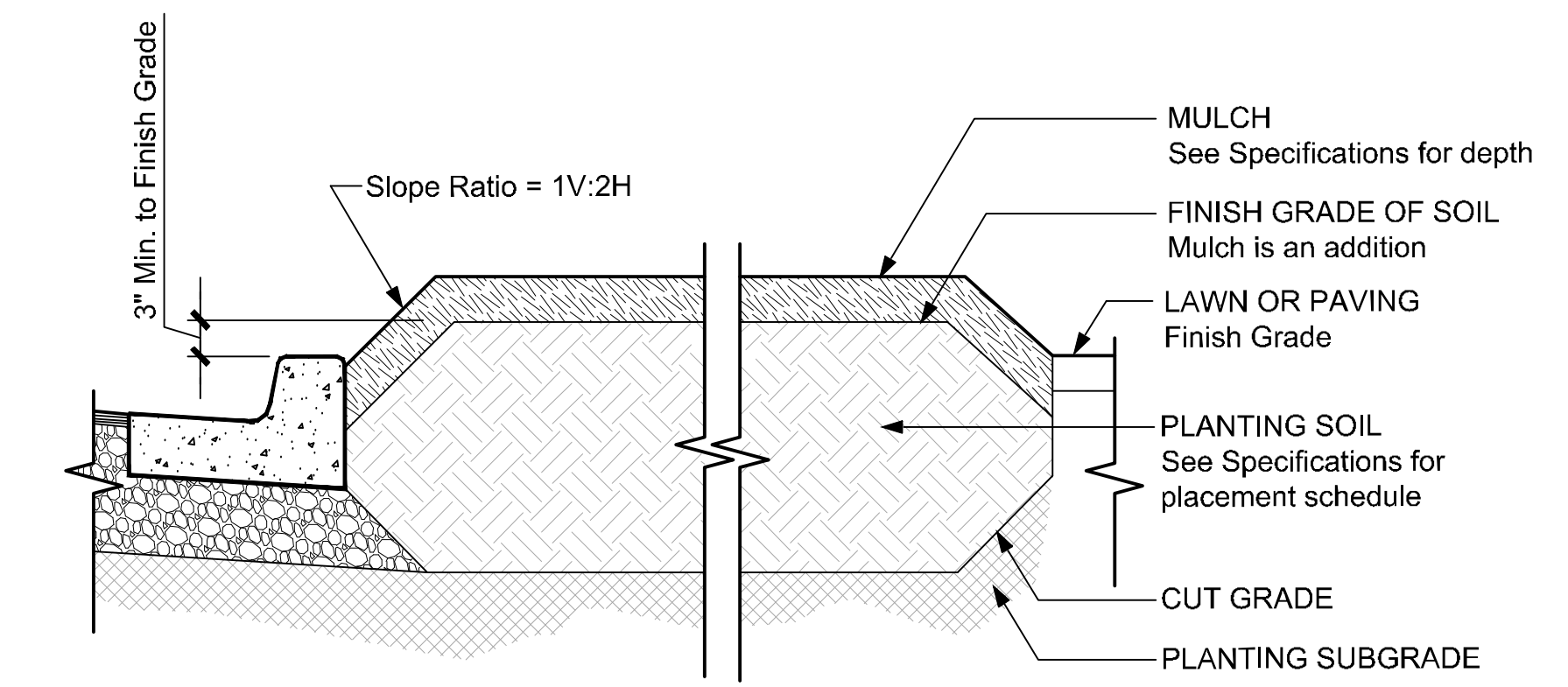
PASSENGER LOADING ZONE 5 MINUTE LIMIT
HIGH INTENSITY GRADE ALUMINUM
18" X 18"



NO PARKING LOADING ZONE
HIGH INTENSITY GRADE ALUMINUM
12" X 18"

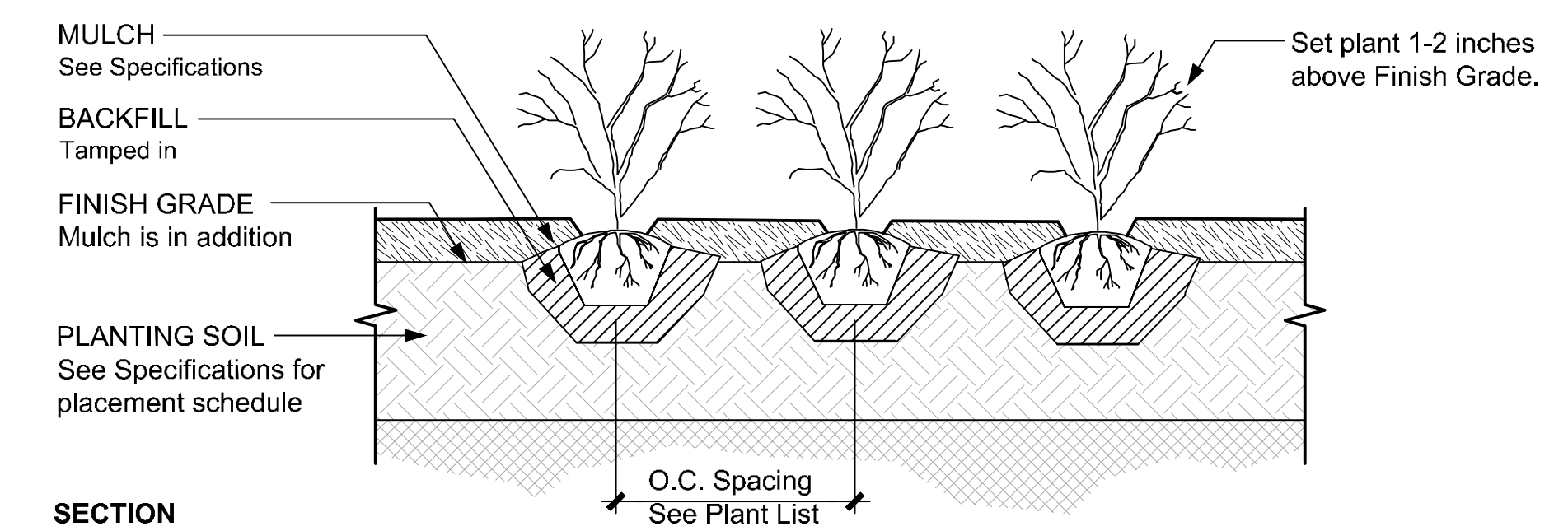
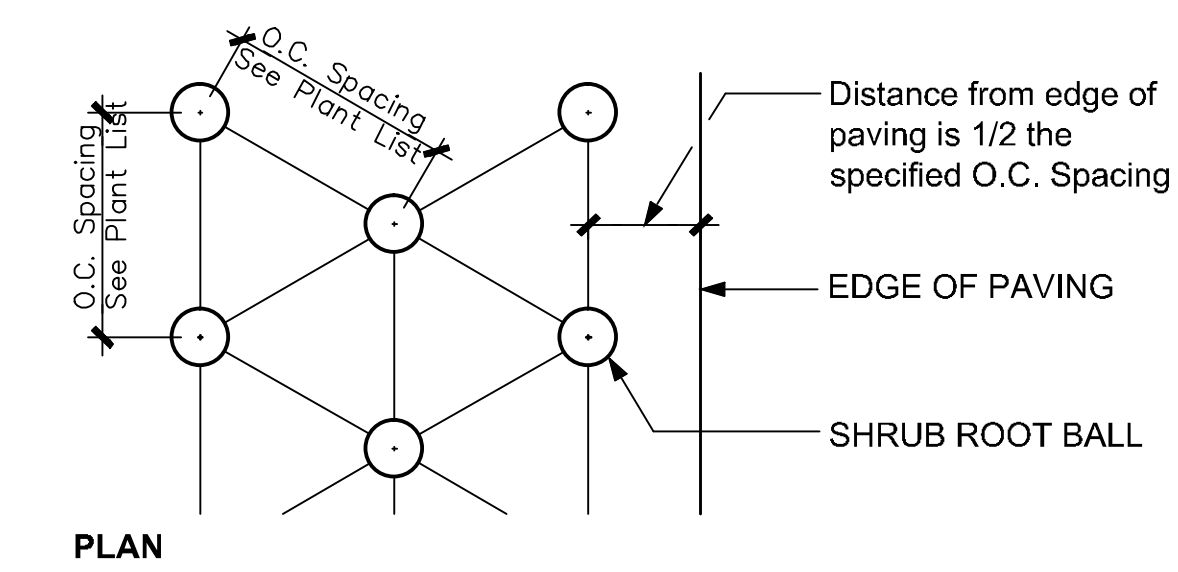
SIGN TYPES

NTS 3

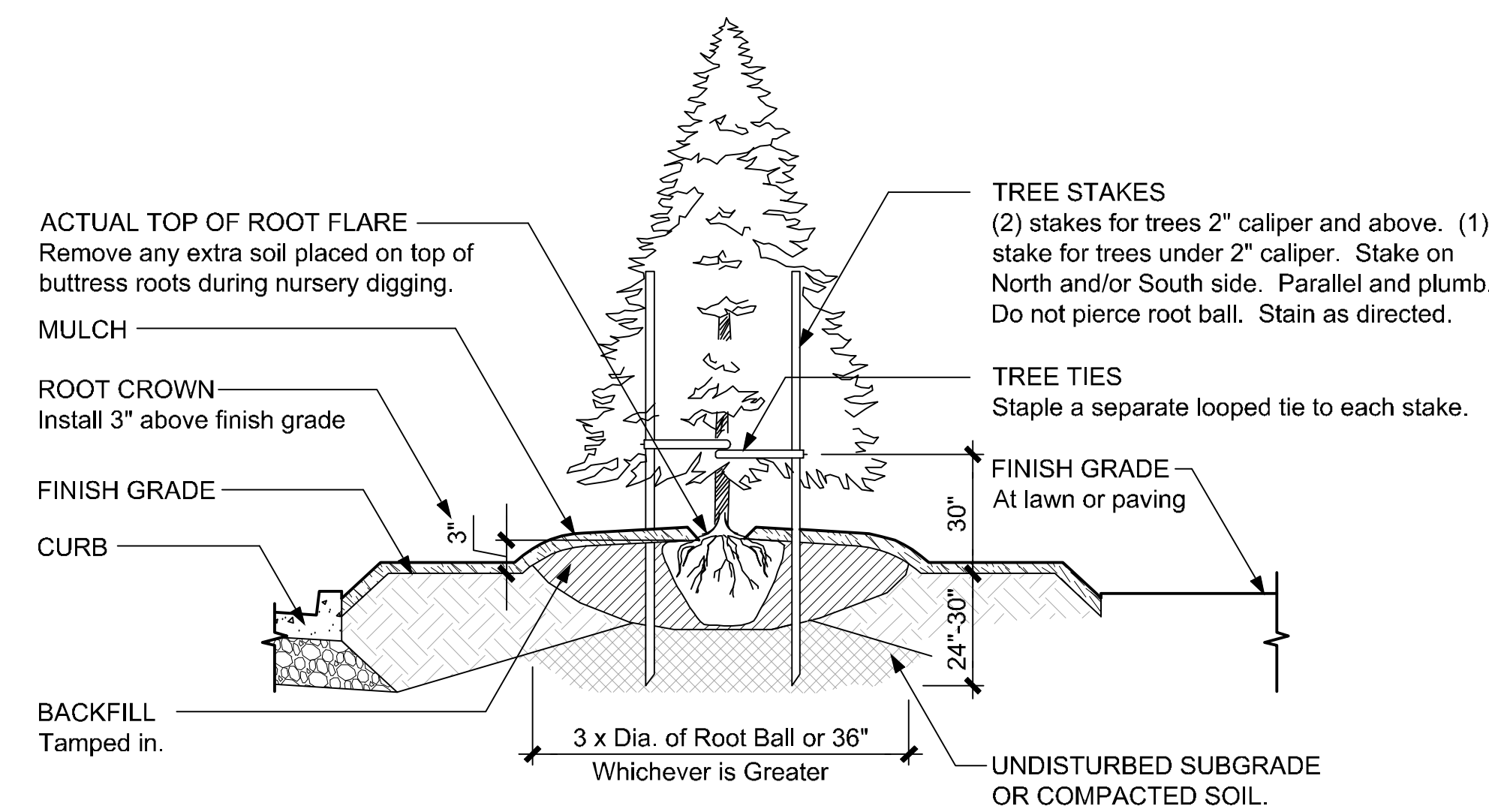


- NOTES**
1. Finish grade, unless specifically identified otherwise, is comprised of a horizontal plane 4" above highest adjacent edge

PLANT BED PROFILE NTS 1

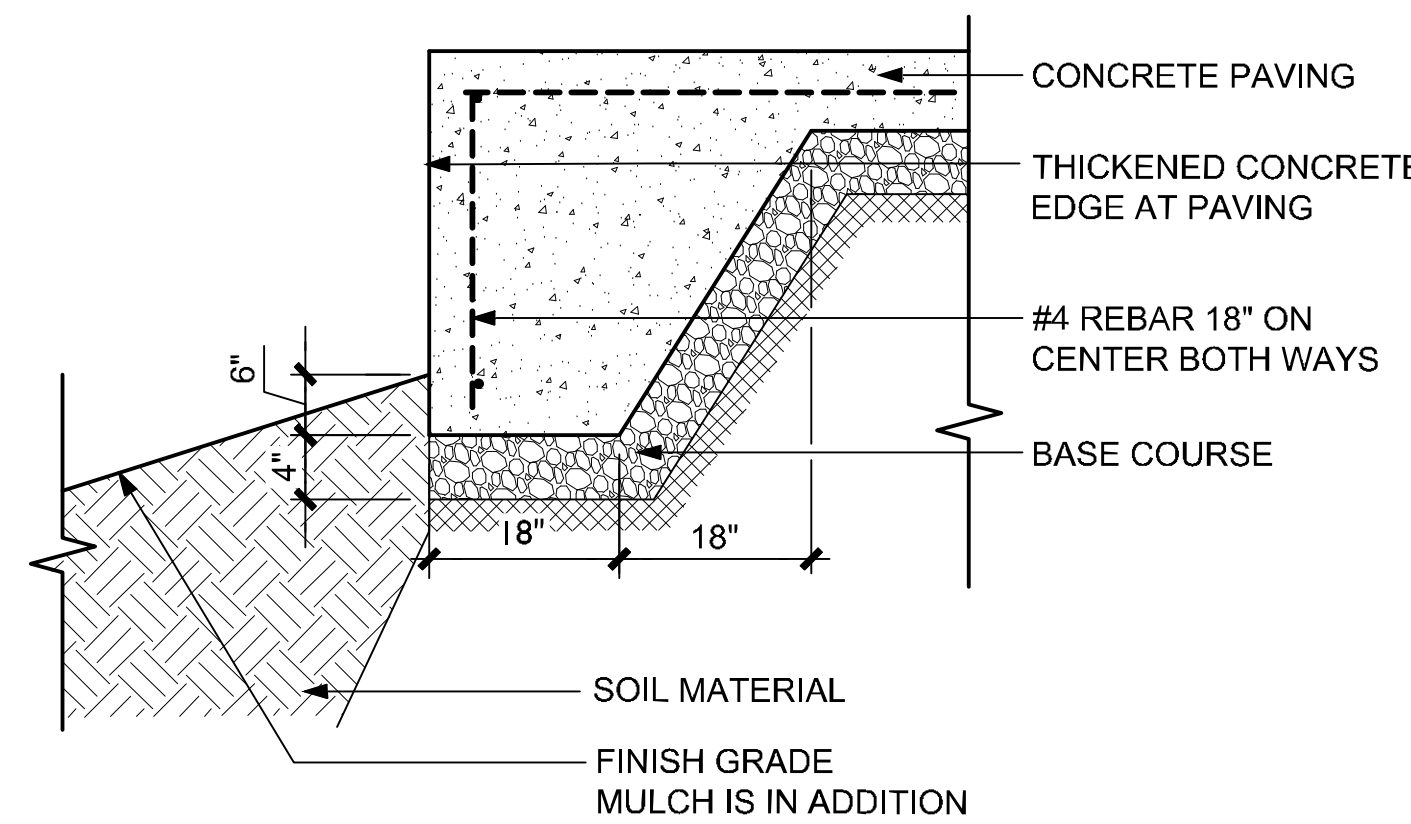


TRIANGULAR SHRUB SPACING DETAIL NTS 2

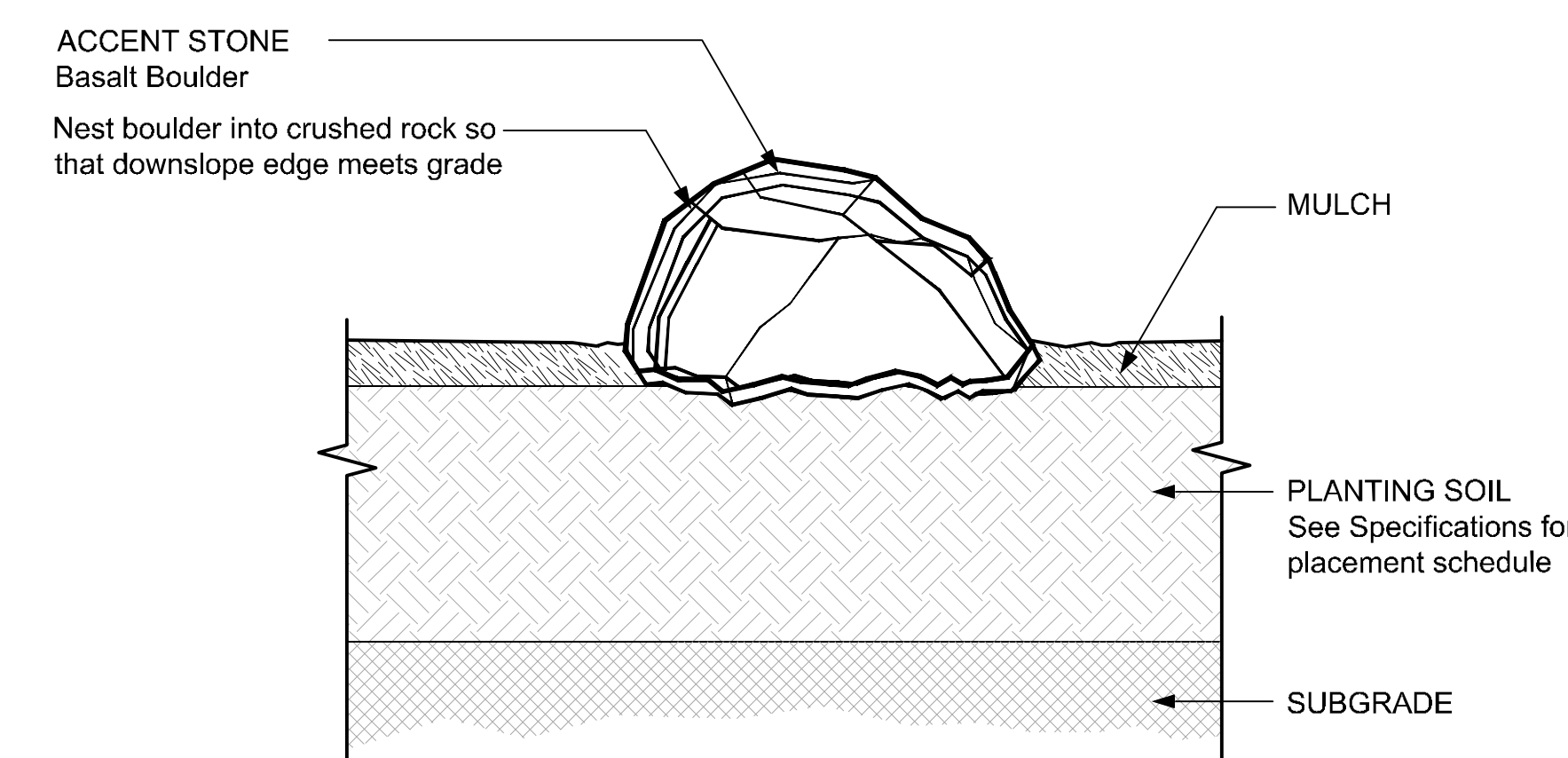


- NOTES**
1. Trees planted too deeply will not be accepted.
 2. Remove tree ties and stakes one year after planting unless directed otherwise.
 3. Provide trees planted in lawn with minimum 5 foot diameter bark area. Hold bark away from trunk.
 4. Remove burlap from top of root ball.

CONIFEROUS TREE PLANTING NTS 4

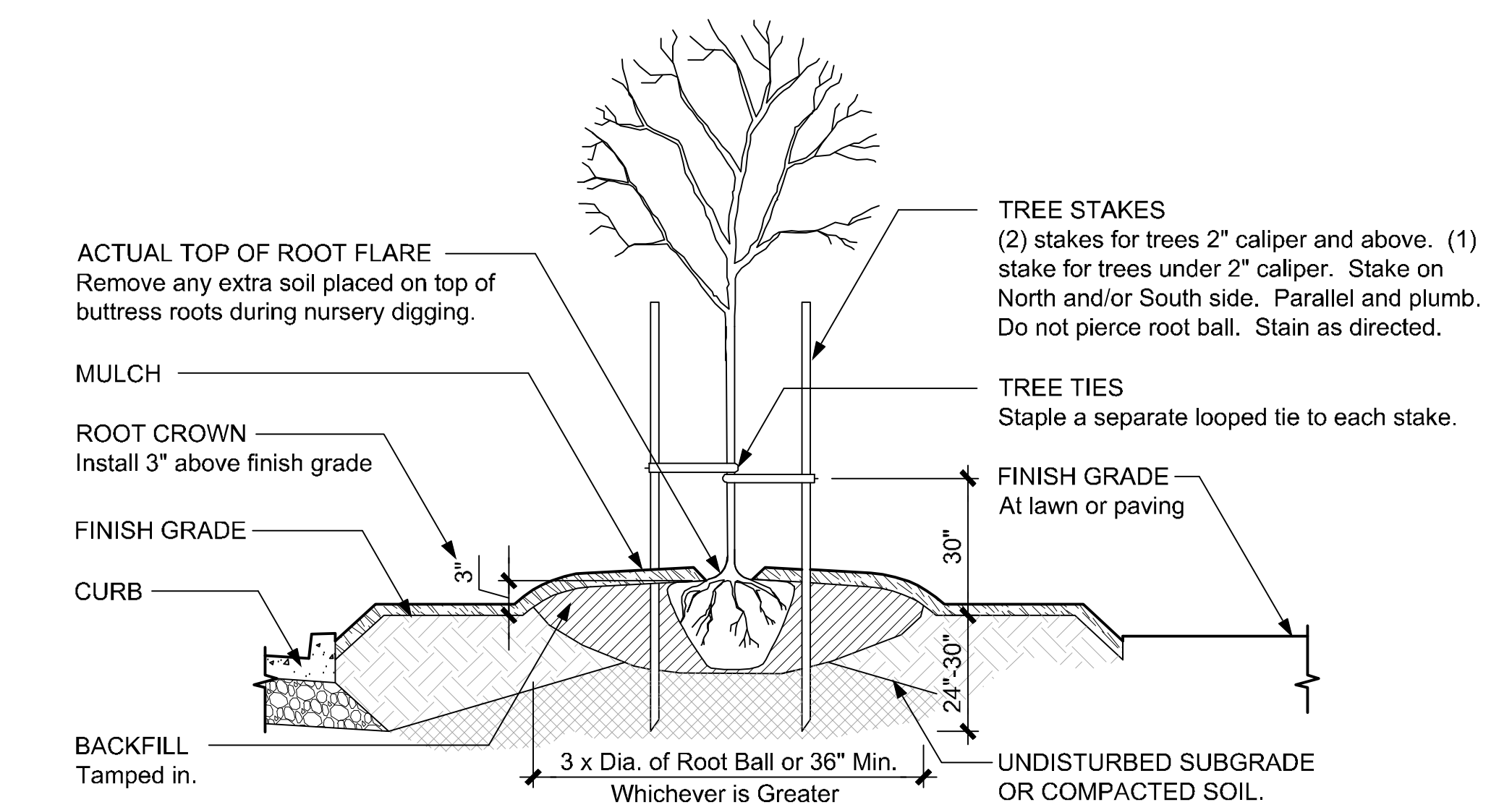


THICKENED EDGE AT CONCRETE WALK NTS 6



- NOTES**
1. Accent Stone: Basalt stones ranging in size. Size as shown on plan;
 2. Obtain Owner's Representative's approval of accent stone layout prior to final installation and setting of stone.
 3. Minimize burial of accent stone in soil

ACCENT STONE WITH WITH RIVER ROCK NTS 5



- NOTES**
1. Trees planted too deeply will not be accepted.
 2. Remove tree ties and stakes one year after planting unless directed otherwise.
 3. Provide trees planted in lawn with minimum 5 foot diameter bark area. Hold bark away from trunk.
 4. Remove burlap from top of root ball.

DECIDUOUS TREE PLANTING NTS 3

GENERAL NOTES

- OREGON LAW REQUIRES YOU TO FOLLOW THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH 952-001-0090 AND ORS 757.542 THROUGH ORS 757.562 AND ORS 757.993. YOU MAY OBTAIN COPIES OF THE RULES FROM THE CENTER BY CALLING (503) 246-1987.
- THE CONTRACTOR SHALL CONTACT 'ONE CALL' FOR UTILITY LOCATES PRIOR TO EXCAVATION. (1-800-332-2344)
- THE EXISTING UTILITY CROSSINGS OF THE PIPELINES ARE SHOWN ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL THE UTILITY CROSSINGS ALONG THE LENGTH OF THE PIPELINE ROUTES AS SPECIFIED. NO GUARANTEE IS MADE THAT ALL OF THE EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING HIS OPERATION.
- THE OVERHEAD ELECTRICAL DISTRIBUTION SYSTEMS ARE NOT SPECIFICALLY INDICATED ON THE DRAWINGS BUT DO EXIST ALONG THE PIPELINE ROUTES.
- THE LOCATION AND DEPTH SHOWN ON THESE DRAWINGS FOR THE EXISTING WATER, STORM DRAIN, & SEWER LINES ARE APPROXIMATE ONLY AND BASED ON AS BUILT DRAWINGS, VALVE LOCATIONS AND OTHER INFORMATION. EXISTING UTILITIES MAY BE IN CLOSE PROXIMITY TO NEW UTILITY ROUTES.
- CONTRACTOR SHALL POTHOLE AND LOCATE EXISTING STORM DRAIN LINE, WATER LINE, AND SEWER LINE PRIOR TO PLACEMENT OF NEW SEWER LINE. EXISTING SEWER AND STORM DRAIN LINES SHALL REMAIN IN SERVICE AND BE PROTECTED IN PLACE UNTIL COMPLETION OF NEW LINES. CONTRACTOR SHALL PROVIDE TEMPORARY CONNECTIONS AS REQUIRED TO MAINTAIN CONTINUED SERVICE TO CUSTOMERS UNTIL COMPLETION OF NEW UTILITY LINE.
- WHEN NO RECORD WAS AVAILABLE TO INDICATE THE ELEVATION OF AN EXISTING UTILITY A MINIMUM COVER OF 30-INCHES WAS ASSUMED. THE CONTRACTOR SHALL EXERCISE CAUTION WHILE EXCAVATING NEAR THESE ESTIMATED UTILITY LOCATIONS WHICH ARE INDICATED ON THE PLANS AND PROFILE DRAWINGS.
- CONTRACTOR SHALL INSTALL NEW UTILITY LINES WITH A MINIMUM CLEARANCE OF 6-INCHES AT ALL CROSSINGS TO EXISTING WATERLINES, STORM DRAINS, SEWER LINES, UNDERGROUND TELEPHONE, AND ELECTRICAL UNLESS OTHERWISE SPECIFIED OR SHOWN OR AS APPROVED BY THE ENGINEER.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE WATER, STORM DRAIN, & SEWER SYSTEM IMPROVEMENTS, DESIGN SPECIFICATIONS AND DRAWINGS. THESE DRAWINGS SHALL BE COORDINATED AND USED IN CONJUNCTION WITH THE TECHNICAL SPECIFICATIONS AND APPROVED SUBMITTALS.
- PERMITS AS ASSOCIATED WITH THE TRENCH DEWATERING SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- MODIFICATIONS TO THE APPROVED PLANS REQUIRES REVIEW AND APPROVAL BY THE OWNER ARCHITECT, & ENGINEER. WORK PERFORMED WITHOUT WRITTEN APPROVAL WILL REQUIRE REMOVAL AT THE CONTRACTORS EXPENSE.
- THE APPROVED PLANS, PERMITS, AND INSPECTION RECORDS MUST BE ON THE JOB SITE AT ALL TIMES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO POTHOLE EXISTING WATERLINES AND UTILITIES SURROUNDING THE AREA TO DETERMINE THE EXACT LOCATION AND DEPTH. POTHOLING SHALL OCCUR A MINIMUM OF SEVEN (7) DAYS PRIOR TO THE COMMENCEMENT OF WORK IN ANY AREA.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- PVC SEWER PIPE SHALL BE CLASS SDR-35 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PERFORM A LOW-PRESSURE AIR TEST ON ALL NEW UTILITY LINES, IN ADDITION ALL NEW LINES SHALL UNDERGOES HYDROSTATIC TESTING, AND TESTED FOR DEFLECTION BY PULLING A MANDREL THROUGH THE COMPLETED PIPELINE AFTER BACKFILL AND COMPACTION TO FINISH GRADE IS COMPLETE.
- ALL SEWER MAINS SHALL BE TELEVISION INSPECTED.


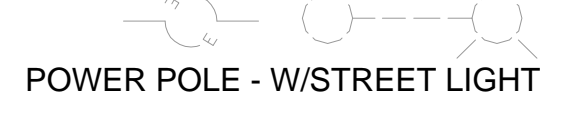



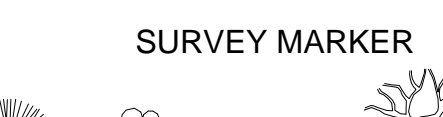
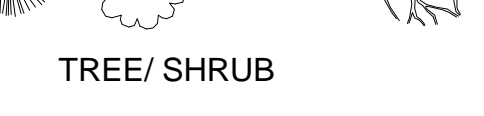


















EROSION CONTROL NOTES

- THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE EROSION OR PONDING AND TO PROTECT ADJACENT IMPROVEMENTS AND PROPERTIES FROM AN INFLUX OR RUNOFF OF SEDIMENT.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM INCLUDING WATERING OF OPEN AREAS, SEVEN (7) DAYS A WEEK. NO FUGITIVE DUST FROM THE SITE SHALL BE ALLOWED.
- IF NECESSARY, CONTRACTOR SHALL ENHANCE EROSION CONTROL MEASURES IN THE FIELD.
- PRIOR TO CONSTRUCTION CONTRACTOR SHALL STABILIZE ENTRANCES AND EQUIPMENT PARKING AREAS, AND INSTALL SEDIMENT CONTROL DEVICES.
- UPON COMPLETION OF THE PROJECT, WITHIN FIFTEEN (15) DAYS OF COMPLETION OF THE PROJECT THE CONTRACTOR SHALL: REMOVE ALL GRADING AND CONSTRUCTION DEBRIS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES (AFTER PERMANENT MEASURES ARE ESTABLISHED), AND REVEGETATE DISTURBED AREAS WITH NATIVE SEED.
- EQUIPMENT AND VEHICLES SHALL NOT TRAVEL BEYOND THE LIMITS OF GRADING TO PREVENT DISRUPTION OF NATIVE VEGETATION.
- STOCKPILED TOP SOILS AND VEGETATIVE STRIPPINGS ARE TO BE REAPPLIED TO DISTURBED SLOPE AREAS.
- ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN THIRTY (30) DAYS SHALL BE HYDRO-SEEDED WITH AN APPROVED SEED MIX AND TACKIFIER AND SHALL BE IRRIGATED UNTIL FIRMLY ESTABLISHED.
- CONCENTRATED CONSTRUCTION FLOWS SHALL BE CHANNELIZED TO TEMPORARY OR PERMANENT SEDIMENT TREATMENT FACILITIES. SEDIMENT LADEN WATER SHALL NOT ENTER THE NATURAL DRAINAGE OR PUBLIC STORM DRAIN SYSTEM.
- DEWATERING EFFLUENT SHALL BE TREATED PRIOR TO DISCHARGE BY MEANS OF DEWATERING STRUCTURES (E.G. STRAW BALE FILTERS, SILT FENCE PIT, GRAVEL FILTER, ETC.)









ABBREVIATIONS

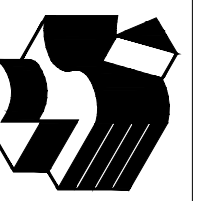
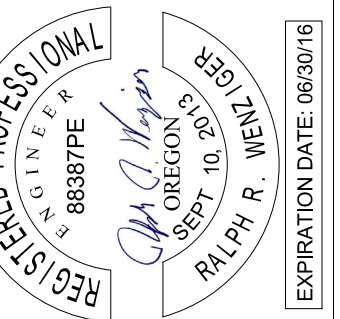
AGG	AGGREGATE	LP	LOW POINT
ALT	ALTERNATIVE	MAX	MAXIMUM
ACP	ASBESTOS CEMENT PIPE	MFR	MANUFACTURER
AC	PAVEMENT	MECH	MECHANICAL
AVE	AVENUE	MH	MANHOLE
		MIN	MINIMUM
BC	BACK OF CURB	MJ	MECHANICAL JOINT
BDRY LINE	BOUNDARY LINE		
BFV	BUTTERFLY VALVE	NG	NATURAL GAS
BLDG.	BUILDING	NTS	NOT TO SCALE
BM	BENCH MARK		
BVC	BEGINNING OF VERTICAL CURVE	OC	ON CENTER
BW	BACK OF SIDEWALK	OD	OUTSIDE DIAMETER
		OF	OVERFLOW
CATV	CABLE TELEVISION	OHE	OVERHEAD ELECTRIC
CB	CATCH BASIN		
CF	CURB FACE	P	POWER
CIP	CAST IRON PIPE	PC	POINT OF CURVE
CL	CENTER LINE	PCC	PORTLAND CEMENT CONCRETE
CO	CLEAN OUT, SEWER	PCC	POINT OF COMPOUND CURVE
COL	COLUMN	PE	PEDESTAL
COMM	COMMERCIAL	PG	PAD GRADE
CONC.	CONCRETE	PI	POINT OF INTERSECTION
CONST	CONSTRUCTION OR CONSTRUCT	PL	PROPERTY LINE
COR	CORNER	PP	POWER POLE
CMP	CORRUGATED METAL PIPE	PRV	PRESSURE REDUCING VALVE
CPLG	COUPLING	PROP	PROPOSED
CLR	CLEARANCE	PT	POINT OF TANGENCY
CLSM	CONTROLLED LOW STRENGTH MATERIAL	PVC	POLY VINYL CHLORIDE PIPE
CSAP	CORRUGATED STEEL ARCH PIPE	PVI	POINT OF VERTICAL INTERSECTION
CTR	CENTER	PVMT	PAVEMENT
CULV	CULVERT		
CW	CITY WATER (POTABLE)	R	RADIUS
CWN	CITY WATER (NONPOTABLE)	RC	REINFORCED CONCRETE
		RCB	REINFORCED CONCRETE BOX
D	DRAIN	RCP	REINFORCED CONCRETE PIPE
DEPT	DEPARTMENT	RD	ROAD
DI	DROP INLET	REINF	REINFORCED
DIA	DIAMETER	REQ'D	REQUIRED
DIP	DUCTILE IRON PIPE	RM	ROOM
DWY	DRIVEWAY	RP	RADIUS POINT
		RR	RAILROAD
E, ELEC	ELECTRIC	RT	RIGHT
EC	END OF CURVE	ROW	RIGHT OF WAY
ELE	ELEVATION	RW	RAW WATER
EP	EDGE OF PAVEMENT	RWR	RECLAIMED WATER
ESMT	EASEMENT		
EVC	END OF VERTICAL CURVE	S	SLOPE
EX	EXISTING	SD	STORM DRAIN
		SDMH	STORM DRAIN MANHOLE
FDC	FIRE DEPARTMENT CONNECTION	SDR	STANDARD DIMENSION RATIO
FF	FINISHED FLOOR	SHT	SHEET
FG	FINISH GRADE	SPW	SPILLWAY
FIBER	FIBER OPTIC LINE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FL	FLOWLINE	STA	STATION
FLG	FLANGE	STD	STANDARD
FM	FORCE MAIN	STRUCT	STRUCTURAL
FT	FEET OR FOOT	SW	SIDEWALK
G	GAS	T, TELE	TELEPHONE
GALV	GALVANIZED	TC	TOP OF CURVE
GB	GRADE BREAK	TEMP	TEMPORARY
GV	GATE VALVE	TMH	TOP OF MANHOLE
		TP	TOP OF PIPE
HDD	HORIZONTAL DIRECTIONAL DRILL	TRANS.	TRANSITION
HDPE	HIGH DENSITY POLYETHYLENE PIPE	TW	TOP OF WALL
HDWL	HEADWALL	TYP	TYPICAL
HORIZ	HORIZONTAL		
HP	HIGH POINT	VAR	VARIABLE
		VC	VERTICAL CURVE
ID	INSIDE DIAMETER	VERT	VERTICAL
IN	INCH	VG	VALLEY GUTTER
INT	INTERSECTION		
INV	INVERT	W, WTR	WATER
		WM	WATER METER
JB	JUNCTION BOX	WV	WATER VALVE
LAT	LATERAL		
LF	LINEAR FEET		
LT	LEFT		

LEGEND

EXISTING	
	BUILDING
	POWER POLE - W/STREET LIGHT
	GUY ANCHOR
	UG TELEPHONE
	TELEPHONE PEDESTAL
	STREET SIGN
	SURVEY MARKER
	TREE/ SHRUB
	TREELINE
	SANITARY SEWER MANHOLE
	STORM DRAINAGE MANHOLE
	CATCH BASIN
	FIRE-HYDRANT
	WATERLINE
	WATERLINE CROSSING
	GAS CROSSING
	STORM DRAIN CROSSING
	EDGE OF AC PAVEMENT
	PROPERTY/ RIGHT-OF-WAY LINE
	EXISTING STORM DRAIN LINE
	EXISTING SEWER LINE
	UG GAS
	SANITARY SEWER
	CONCRETE SURFACE
	SAND SURFACE

NEW

	ELECTRICAL CONDUIT
	GAS LINE
	WATER LINE
	SEWER LINE
	NEW STORM DRAIN LINE PLAN
	NEW STORM DRAIN LINE PROFILE
	NEW STORM DRAIN MANHOLE
	NEW FIRE DEPARTMENT CONNECTION

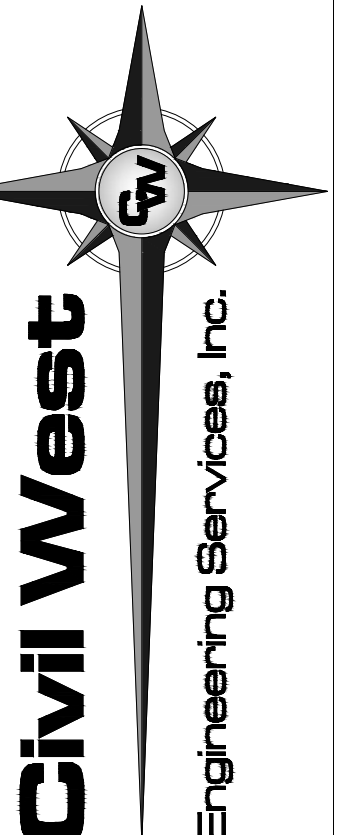


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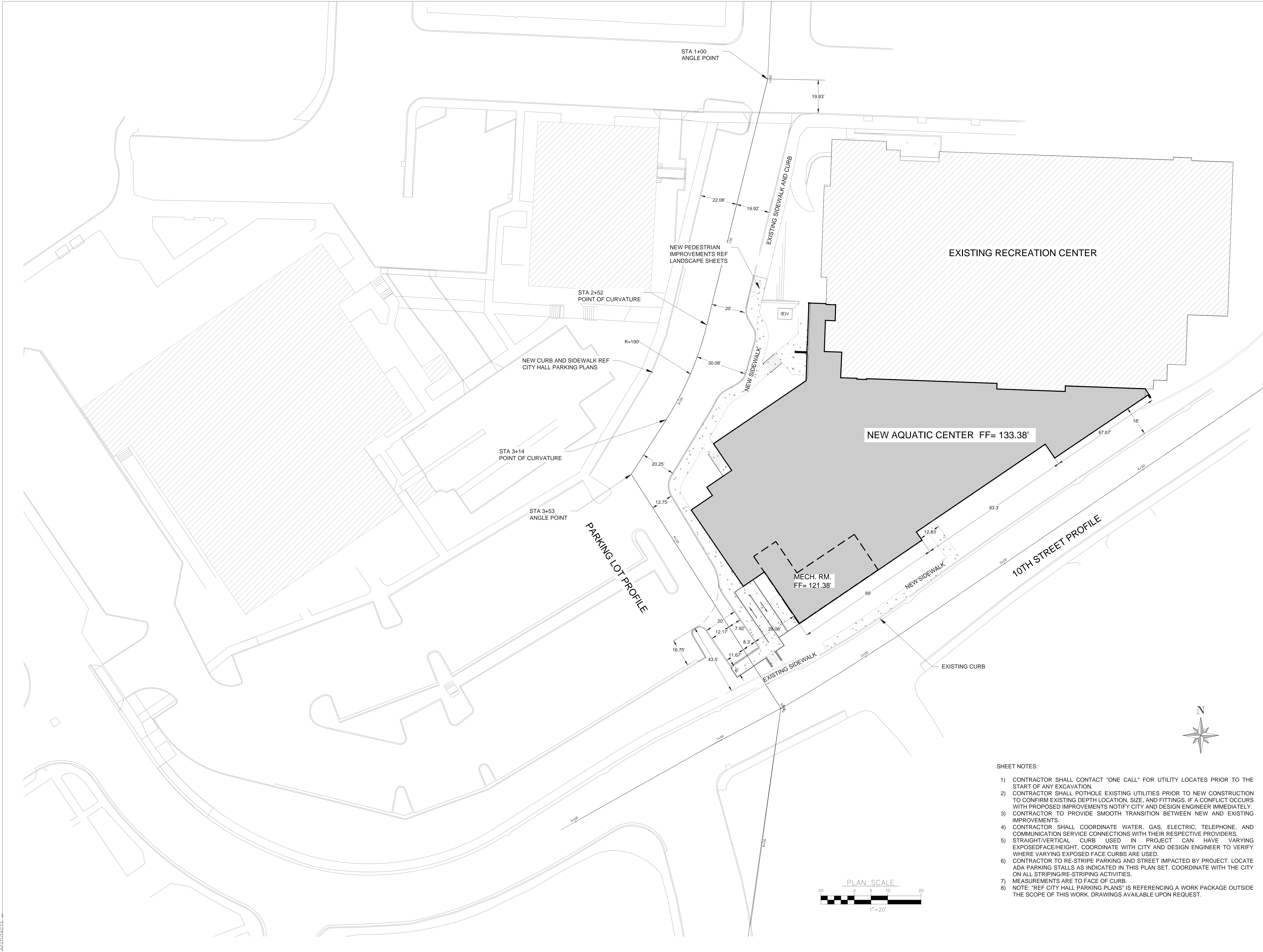
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GENERAL NOTES,
ABBREVIATIONS, AND LEGEND

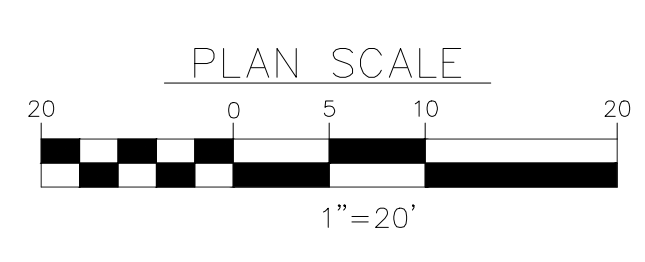
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C1.0



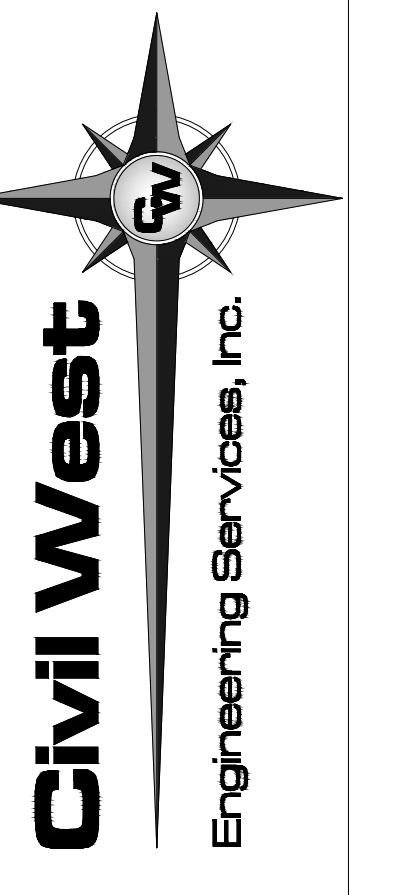
SHEET NOTES:

- 1) CONTRACTOR SHALL CONTACT "ONE CALL" FOR UTILITY LOCATES PRIOR TO THE START OF ANY EXCAVATION.
- 2) CONTRACTOR SHALL POTHOLE EXISTING UTILITIES PRIOR TO NEW CONSTRUCTION TO CONFIRM EXISTING DEPTH LOCATION, SIZE, AND FITTINGS. IF A CONFLICT OCCURS WITH PROPOSED IMPROVEMENTS NOTIFY CITY AND DESIGN ENGINEER IMMEDIATELY.
- 3) CONTRACTOR TO PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXISTING IMPROVEMENTS.
- 4) CONTRACTOR SHALL COORDINATE WATER, GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE CONNECTIONS WITH THEIR RESPECTIVE PROVIDERS.
- 5) STRAIGHT/VERTICAL CURB USED IN PROJECT CAN HAVE VARYING EXPOSED FACE/HEIGHT. COORDINATE WITH CITY AND DESIGN ENGINEER TO VERIFY WHERE VARYING EXPOSED FACE CURBS ARE USED.
- 6) CONTRACTOR TO RE-STRIPE PARKING AND STREET IMPACTED BY PROJECT. LOCATE ADA PARKING STALLS AS INDICATED IN THIS PLAN SET. COORDINATE WITH THE CITY ON ALL STRIPING/RE-STRIPING ACTIVITIES.
- 7) MEASUREMENTS ARE TO FACE OF CURB.
- 8) NOTE: "REF CITY HALL PARKING PLANS" IS REFERENCING A WORK PACKAGE OUTSIDE THE SCOPE OF THIS WORK. DRAWINGS AVAILABLE UPON REQUEST.



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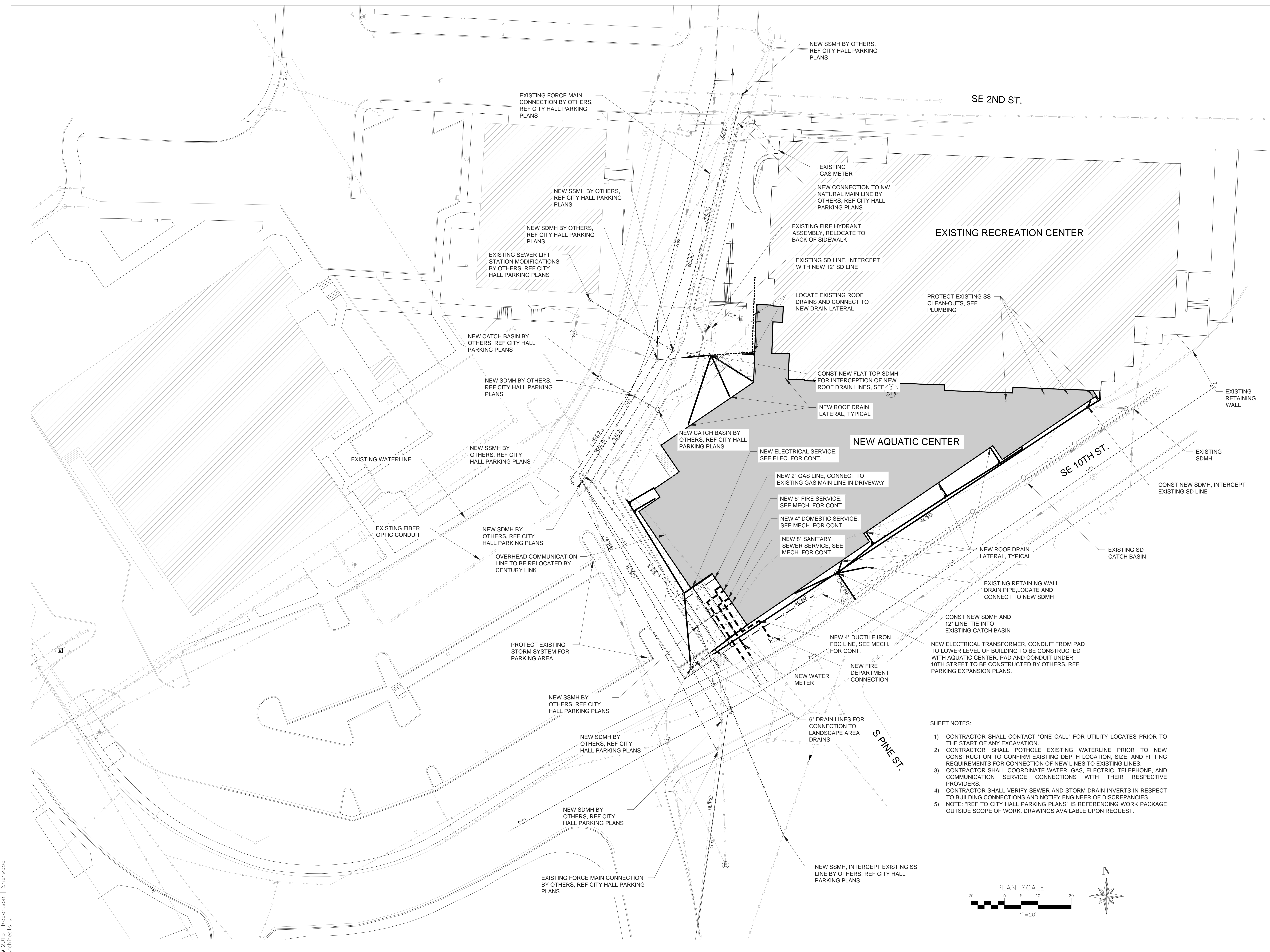


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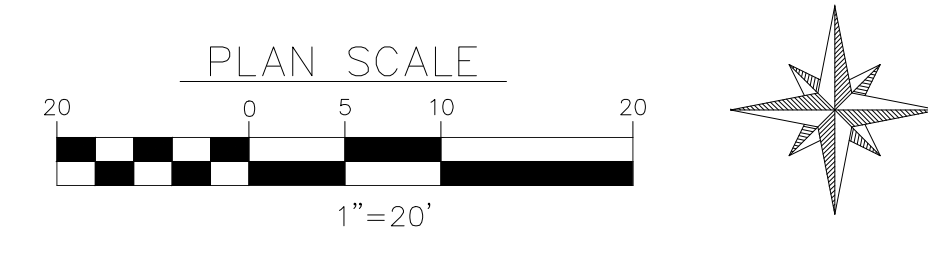
CIVIL SITE PLAN

Drawn By	VAS
Checked	RRW
Date	17 JUNE 2015
Project	1419

C1.1



- SHEET NOTES:**
- 1) CONTRACTOR SHALL CONTACT "ONE CALL" FOR UTILITY LOCATES PRIOR TO THE START OF ANY EXCAVATION.
 - 2) CONTRACTOR SHALL POthOLE EXISTING WATERLINE PRIOR TO NEW CONSTRUCTION TO CONFIRM EXISTING DEPTH LOCATION, SIZE, AND FITTING REQUIREMENTS FOR CONNECTION OF NEW LINES TO EXISTING LINES.
 - 3) CONTRACTOR SHALL COORDINATE WATER, GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE CONNECTIONS WITH THEIR RESPECTIVE PROVIDERS.
 - 4) CONTRACTOR SHALL VERIFY SEWER AND STORM DRAIN INVERTS IN RESPECT TO BUILDING CONNECTIONS AND NOTIFY ENGINEER OF DISCREPANCIES.
 - 5) NOTE: "REF TO CITY HALL PARKING PLANS" IS REFERENCING WORK PACKAGE OUTSIDE SCOPE OF WORK. DRAWINGS AVAILABLE UPON REQUEST.



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PROFESSIONAL
REGISTERED ENGINEER
No. 100000000
PAUL R. WELLS
EXPIRATION DATE: 06/30/16

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NEWPORT AQUATIC CENTER

CIVIL UTILITY PLAN

1419

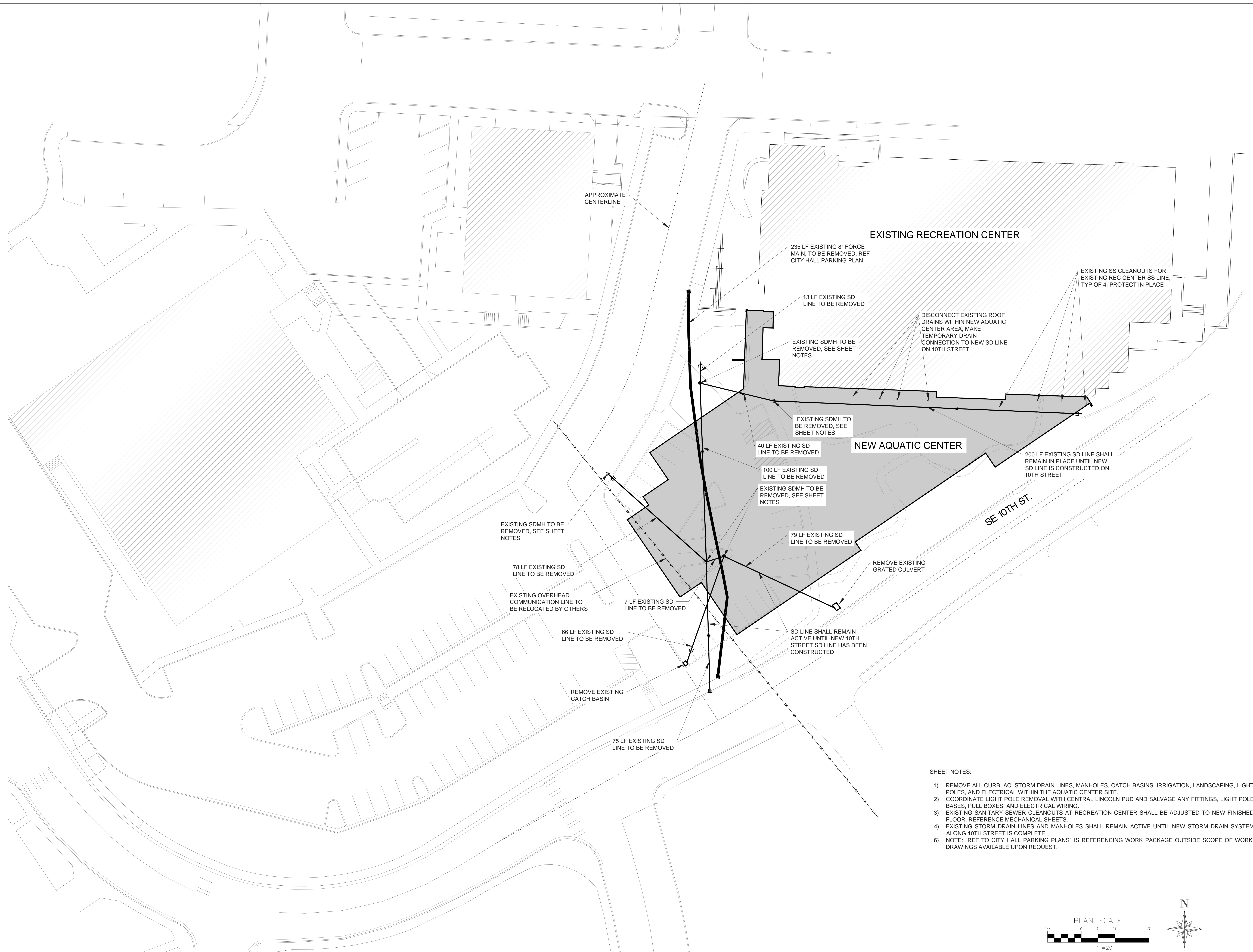
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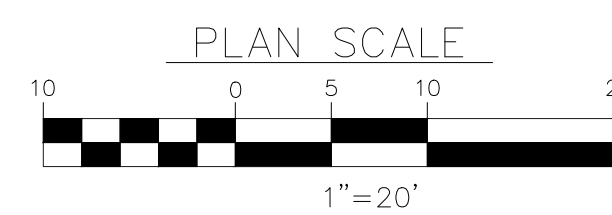
Project: 1419

C1.2



SHEET NOTES:

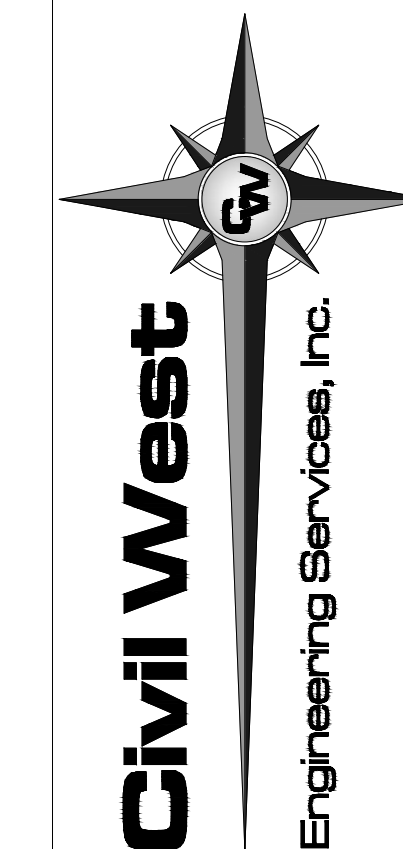
- 1) REMOVE ALL CURB, AC, STORM DRAIN LINES, MANHOLES, CATCH BASINS, IRRIGATION, LANDSCAPING, LIGHT POLES, AND ELECTRICAL WITHIN THE AQUATIC CENTER SITE.
- 2) COORDINATE LIGHT POLE REMOVAL WITH CENTRAL LINCOLN PUD AND SALVAGE ANY FITTINGS, LIGHT POLE BASES, PULL BOXES, AND ELECTRICAL WIRING.
- 3) EXISTING SANITARY SEWER CLEANOUTS AT RECREATION CENTER SHALL BE ADJUSTED TO NEW FINISHED FLOOR. REFERENCE MECHANICAL SHEETS.
- 4) EXISTING STORM DRAIN LINES AND MANHOLES SHALL REMAIN ACTIVE UNTIL NEW STORM DRAIN SYSTEM ALONG 10TH STREET IS COMPLETE.
- 6) NOTE: "REF TO CITY HALL PARKING PLANS" IS REFERENCING WORK PACKAGE OUTSIDE SCOPE OF WORK. DRAWINGS AVAILABLE UPON REQUEST.



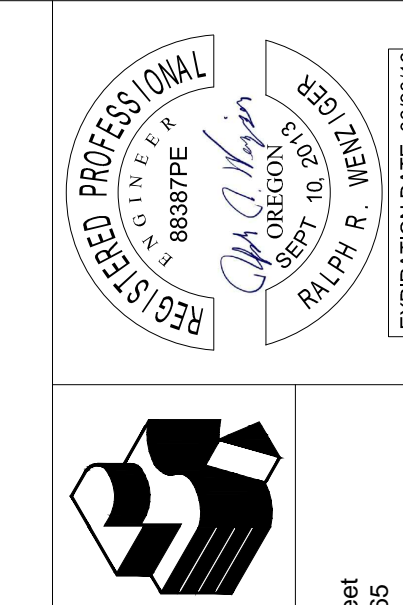
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C1.3

CIVIL SEWER AND STORM DEMOLITION PLAN

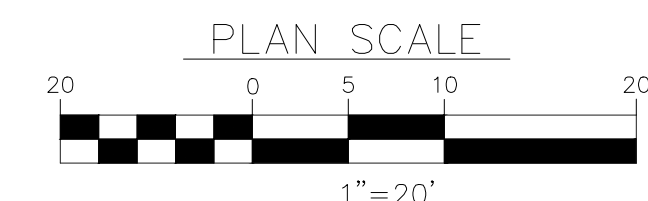
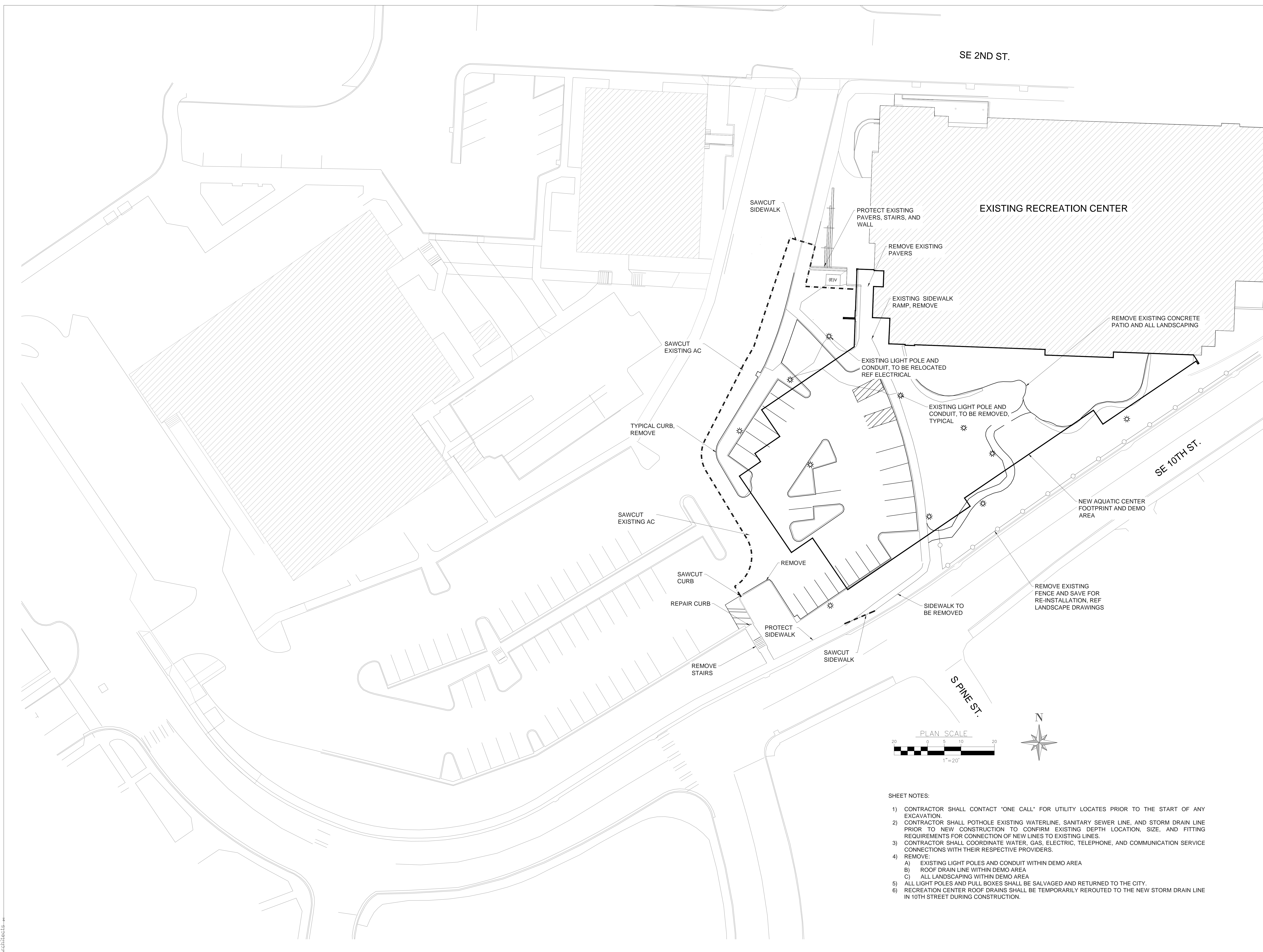


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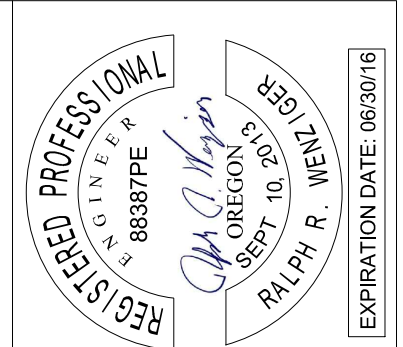


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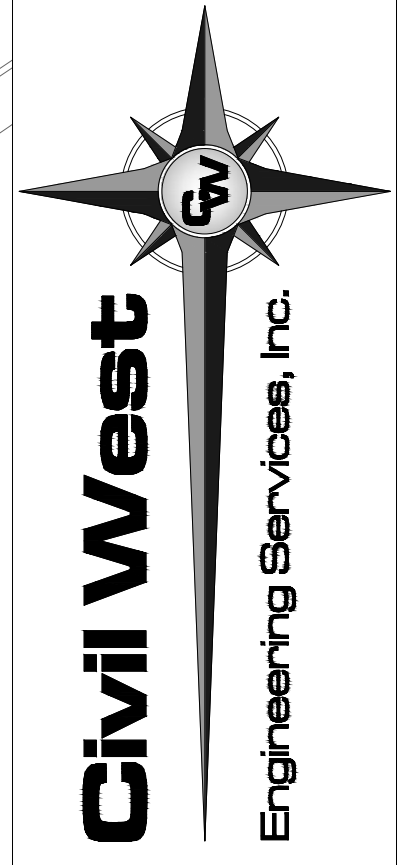
Newport Aquatic Center



- SHEET NOTES:
- 1) CONTRACTOR SHALL CONTACT "ONE CALL" FOR UTILITY LOCATES PRIOR TO THE START OF ANY EXCAVATION.
 - 2) CONTRACTOR SHALL POTHOLE EXISTING WATERLINE, SANITARY SEWER LINE, AND STORM DRAIN LINE PRIOR TO NEW CONSTRUCTION TO CONFIRM EXISTING DEPTH LOCATION, SIZE, AND FITTING REQUIREMENTS FOR CONNECTION OF NEW LINES TO EXISTING LINES.
 - 3) CONTRACTOR SHALL COORDINATE WATER, GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE CONNECTIONS WITH THEIR RESPECTIVE PROVIDERS.
 - 4) REMOVE:
 - A) EXISTING LIGHT POLES AND CONDUIT WITHIN DEMO AREA
 - B) ROOF DRAIN LINE WITHIN DEMO AREA
 - C) ALL LANDSCAPING WITHIN DEMO AREA
 - 5) ALL LIGHT POLES AND PULL BOXES SHALL BE SALVAGED AND RETURNED TO THE CITY.
 - 6) RECREATION CENTER ROOF DRAINS SHALL BE TEMPORARILY REROUTED TO THE NEW STORM DRAIN LINE IN 10TH STREET DURING CONSTRUCTION.



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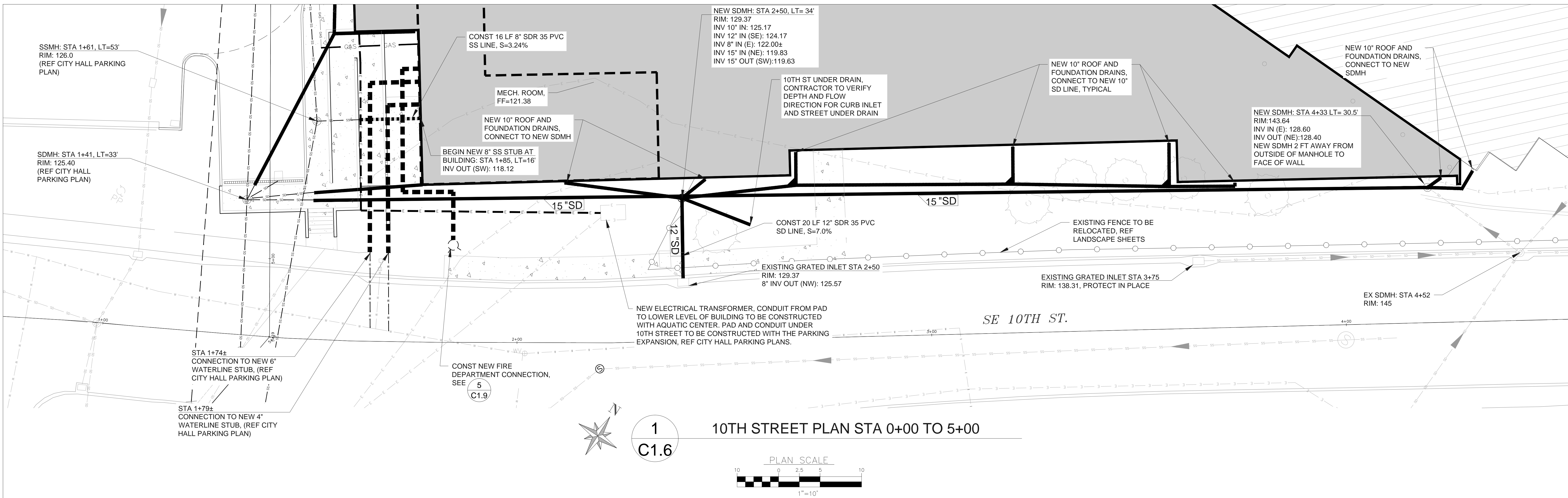
**CIVIL PARKING LOT AND
 POWER DEMOLITION PLAN**

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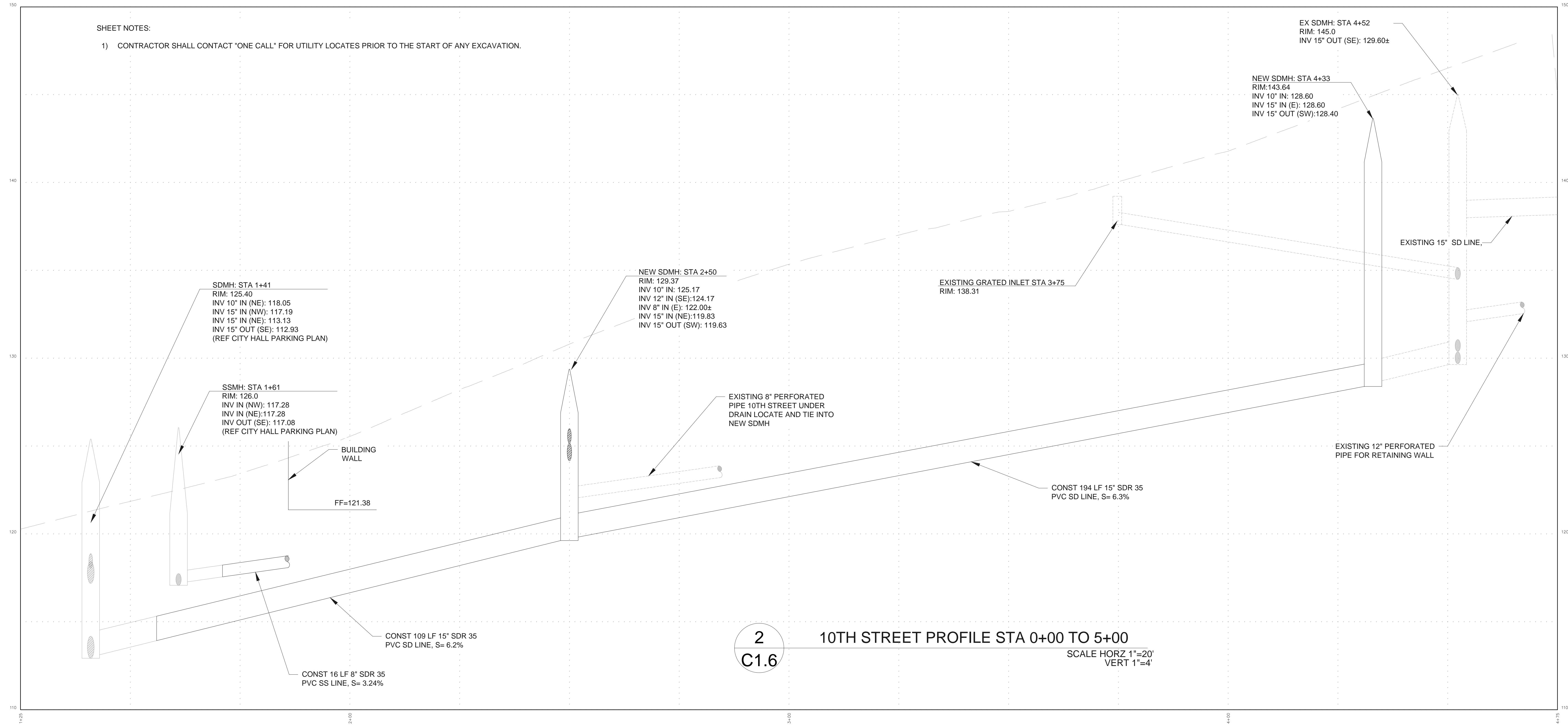
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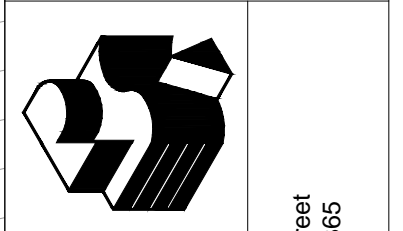


1
C1.6
10TH STREET PLAN STA 0+00 TO 5+00

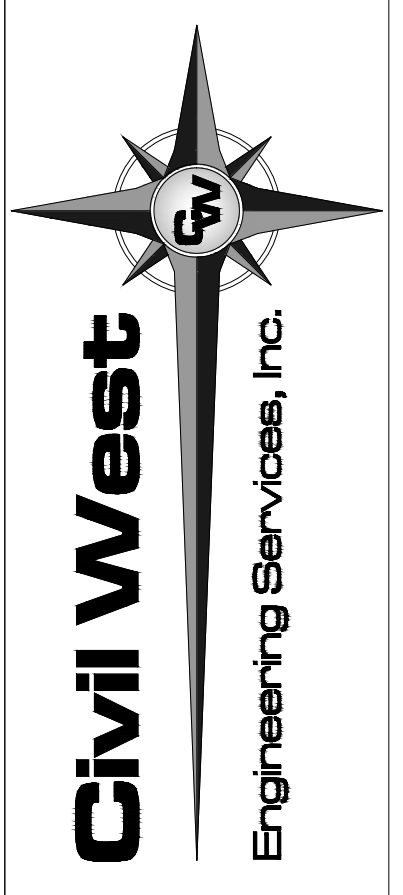


2
C1.6
10TH STREET PROFILE STA 0+00 TO 5+00
SCALE HORZ 1"=20'
VERT 1"=4'

SHEET NOTES:
1) CONTRACTOR SHALL CONTACT "ONE CALL" FOR UTILITY LOCATES PRIOR TO THE START OF ANY EXCAVATION.



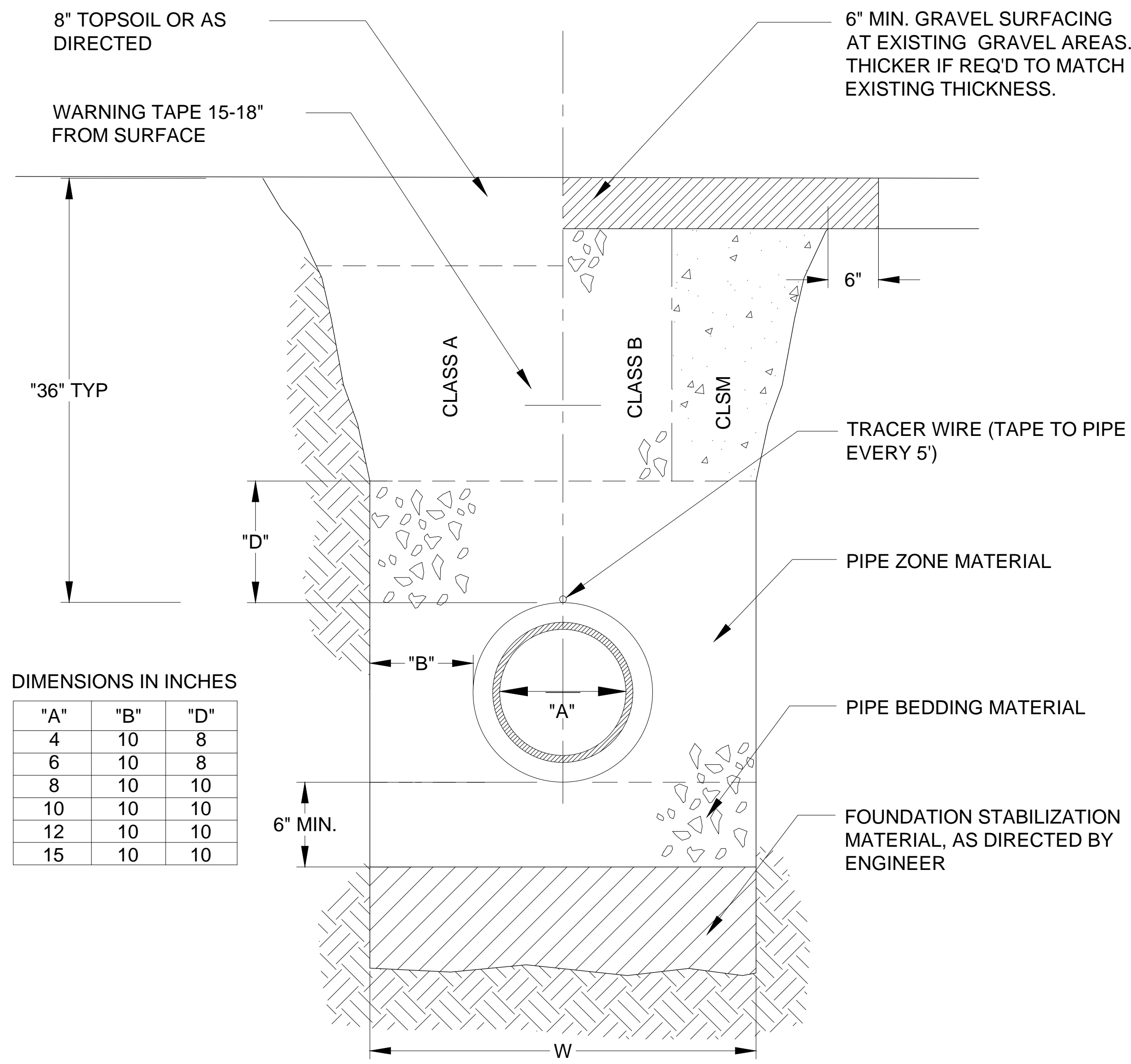
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NEW UTILITY PLAN AND PROFILE
10TH STREET
STA 1+00 TO 5+00

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C1.6

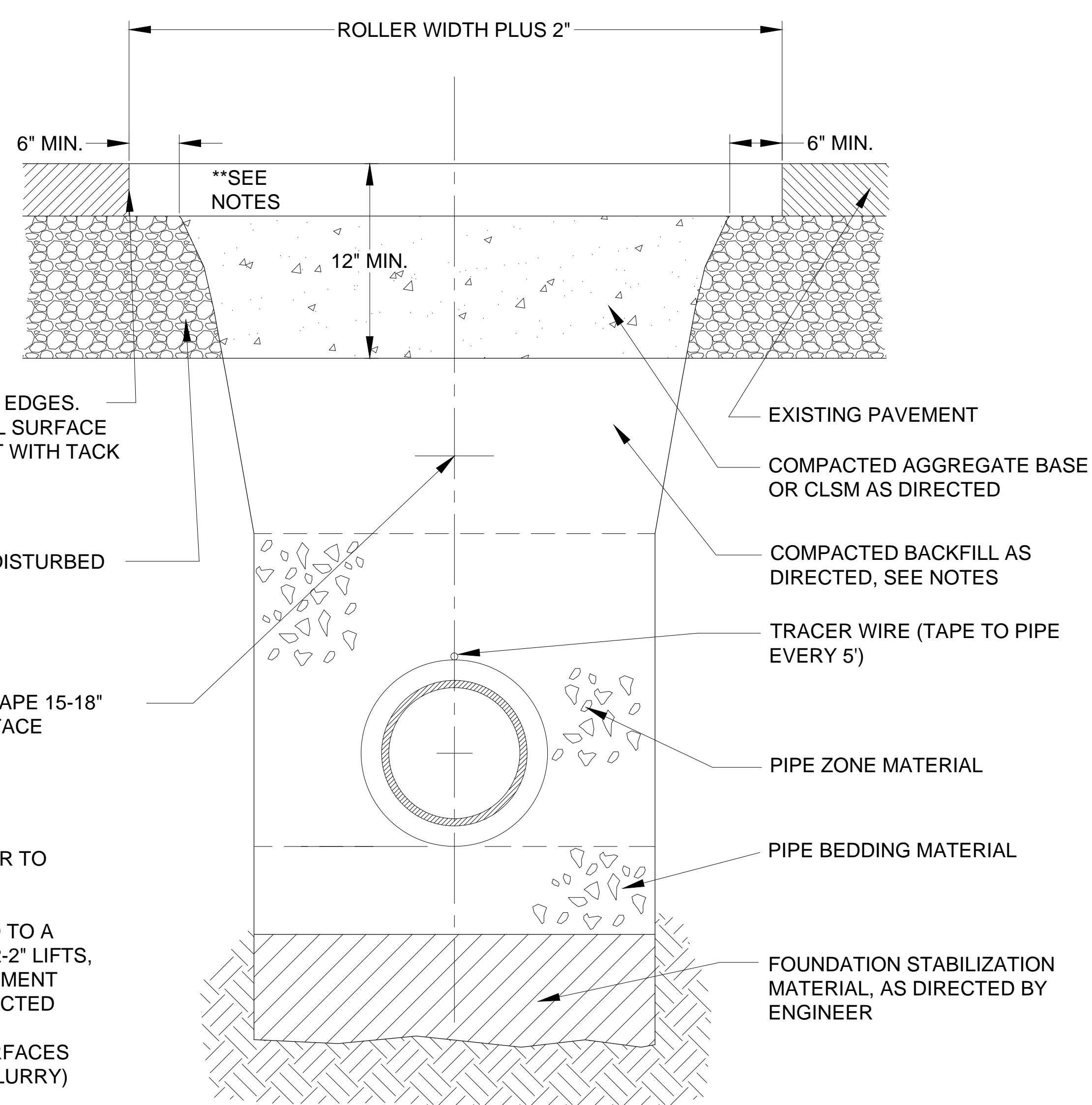


DIMENSIONS IN INCHES

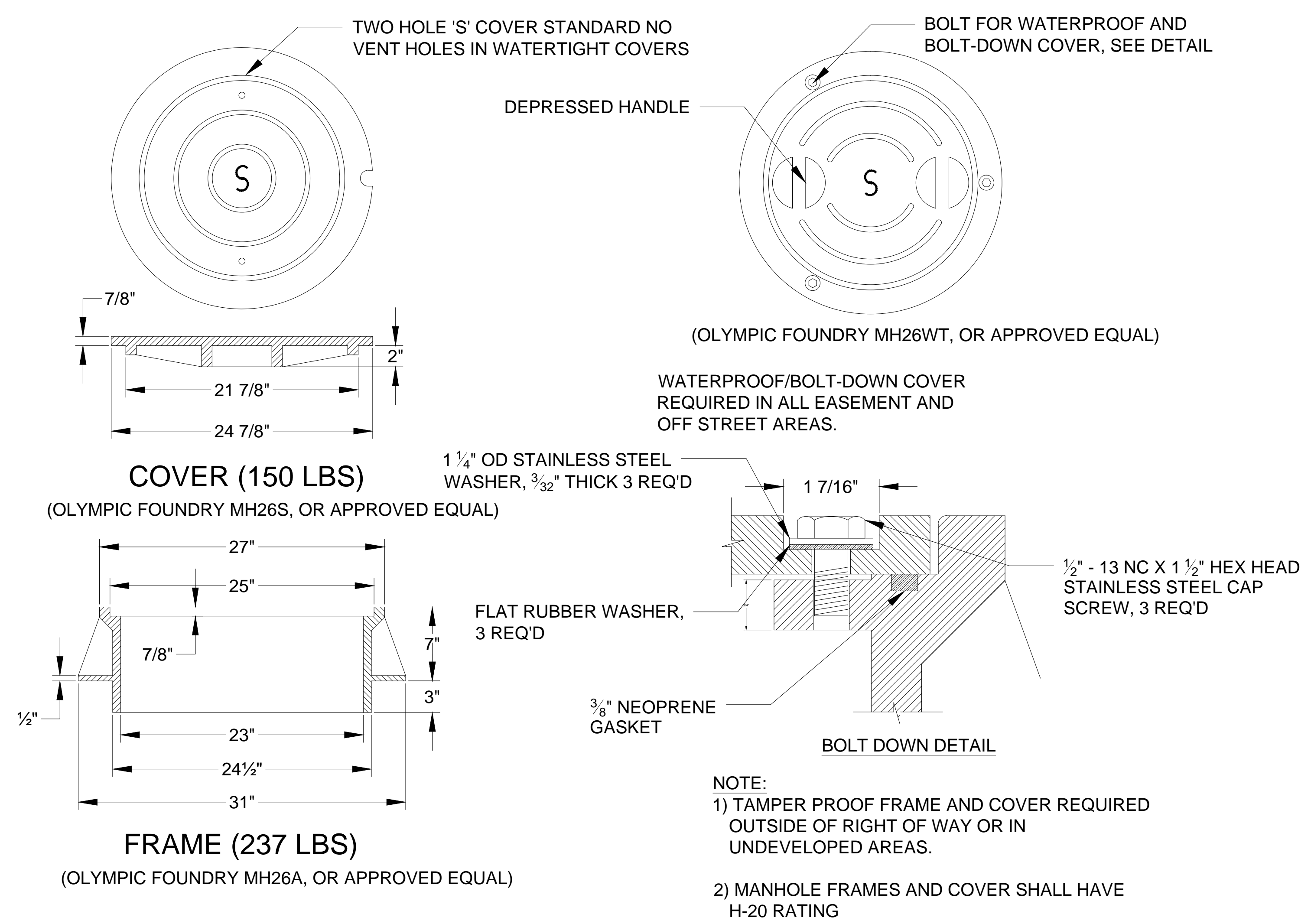
"A"	"B"	"D"
4	10	8
6	10	8
8	10	10
10	10	10
12	10	10
15	10	10

1
C1.7
TYPICAL TRENCH DETAIL
NOT TO SCALE

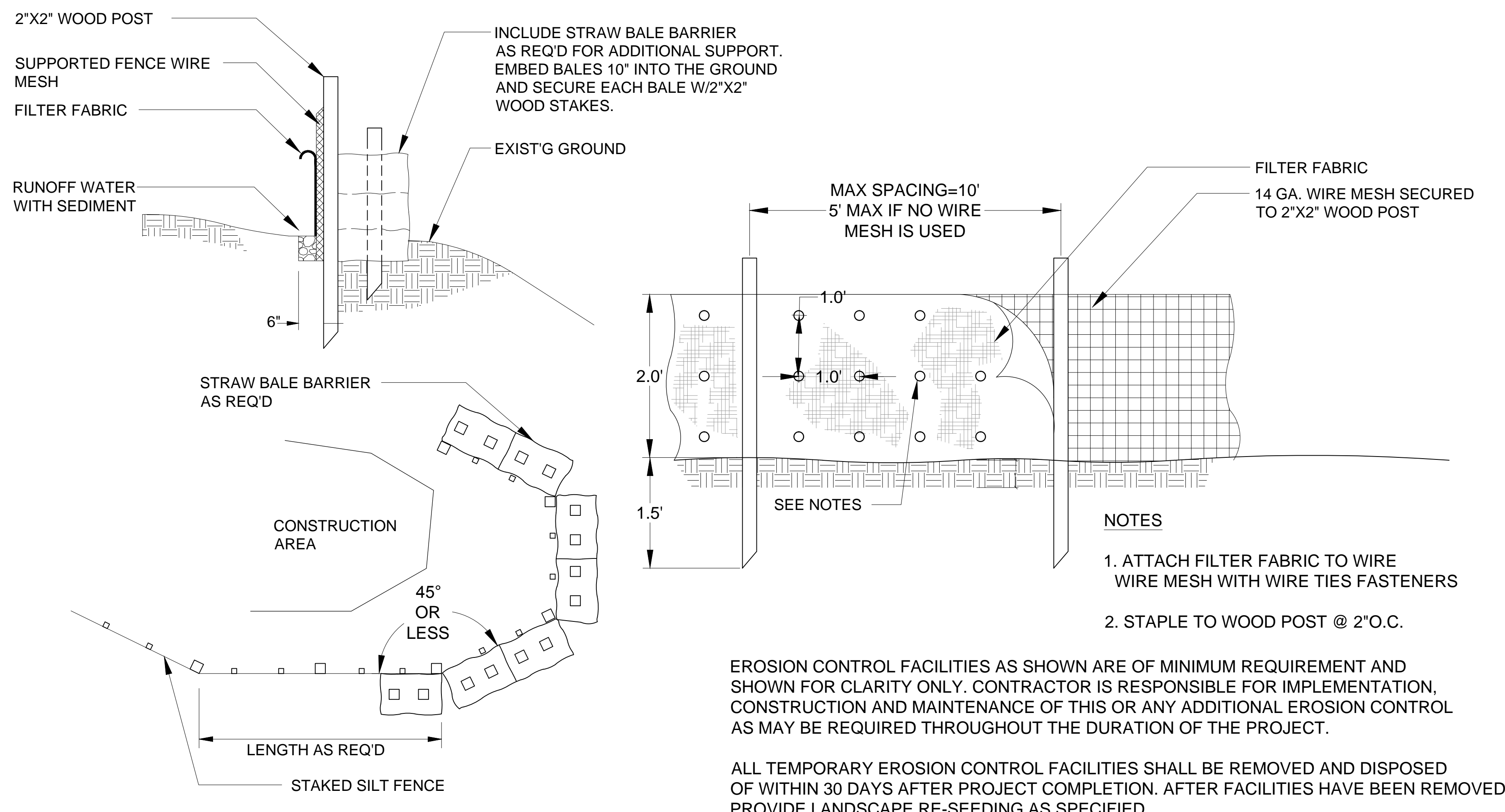
DETAIL NOTES:
FINAL SAW CUT TO BE MADE JUST PRIOR TO PLACEMENT OF NEW AC PAVEMENTS.
NEW AC PAVEMENTS SHALL BE PLACED TO A MINIMUM THICKNESS OF 4" AND SET IN 2-2" LIFTS, OR THE THICKNESS OF REMOVED PAVEMENT WHICHEVER IS GREATER, UNLESS DIRECTED OTHERWISE. COMPACT AS SPECIFIED UNDERPLAYED COUNTY ROADWAY SURFACES BACKFILL MATERIAL SHALL BE CLSM (SLURRY)



2
C1.7
ASPHALT STREET CUT DETAIL
NOT TO SCALE

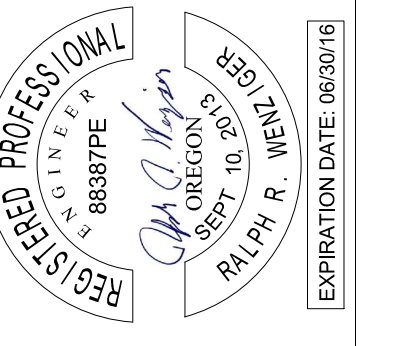


3
C1.7
MANHOLE COVER & FRAME DETAILS
NOT TO SCALE

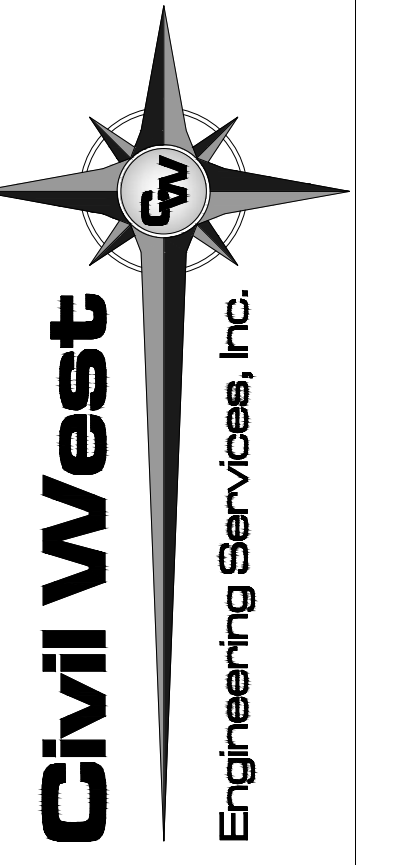


4
C1.7
STAKED SILT FENCE DETAIL
NOT TO SCALE

EROSION CONTROL FACILITIES AS SHOWN ARE OF MINIMUM REQUIREMENT AND SHOWN FOR CLARITY ONLY. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION, CONSTRUCTION AND MAINTENANCE OF THIS OR ANY ADDITIONAL EROSION CONTROL AS MAY BE REQUIRED THROUGHOUT THE DURATION OF THE PROJECT.
ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE REMOVED AND DISPOSED OF WITHIN 30 DAYS AFTER PROJECT COMPLETION. AFTER FACILITIES HAVE BEEN REMOVED PROVIDE LANDSCAPE RE-SEEDING AS SPECIFIED.



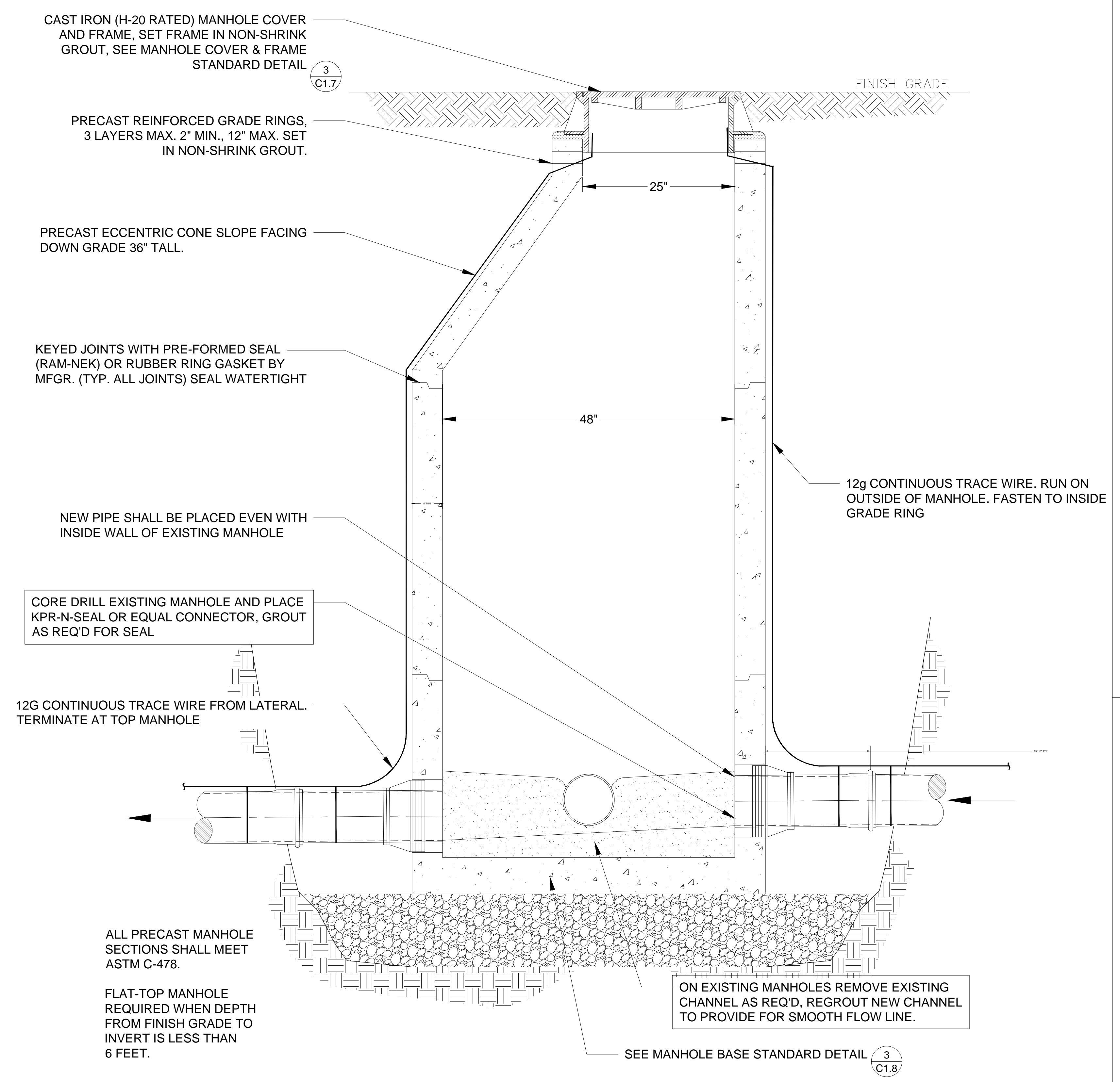
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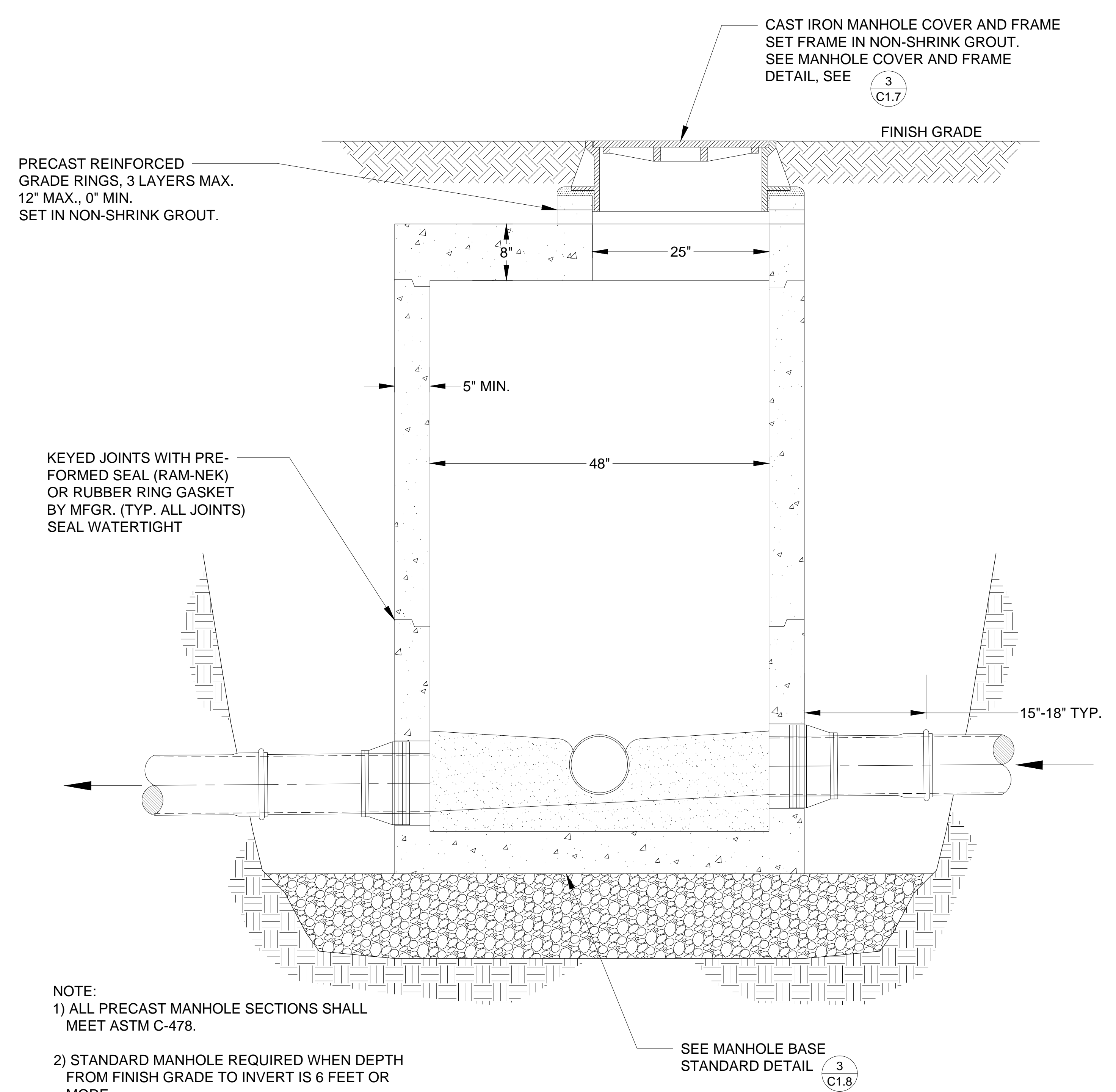
CIVIL DETAILS

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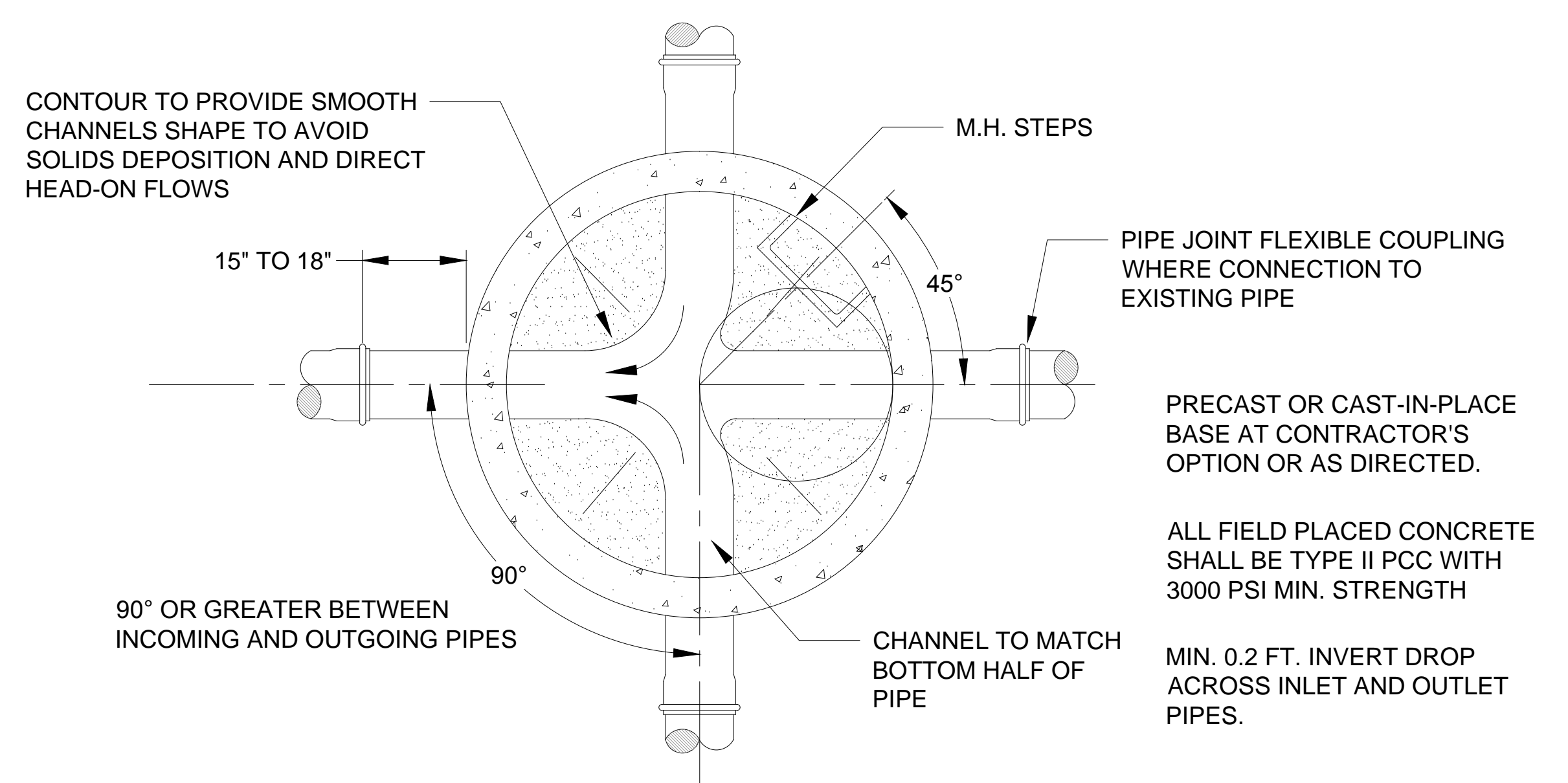
C1.7



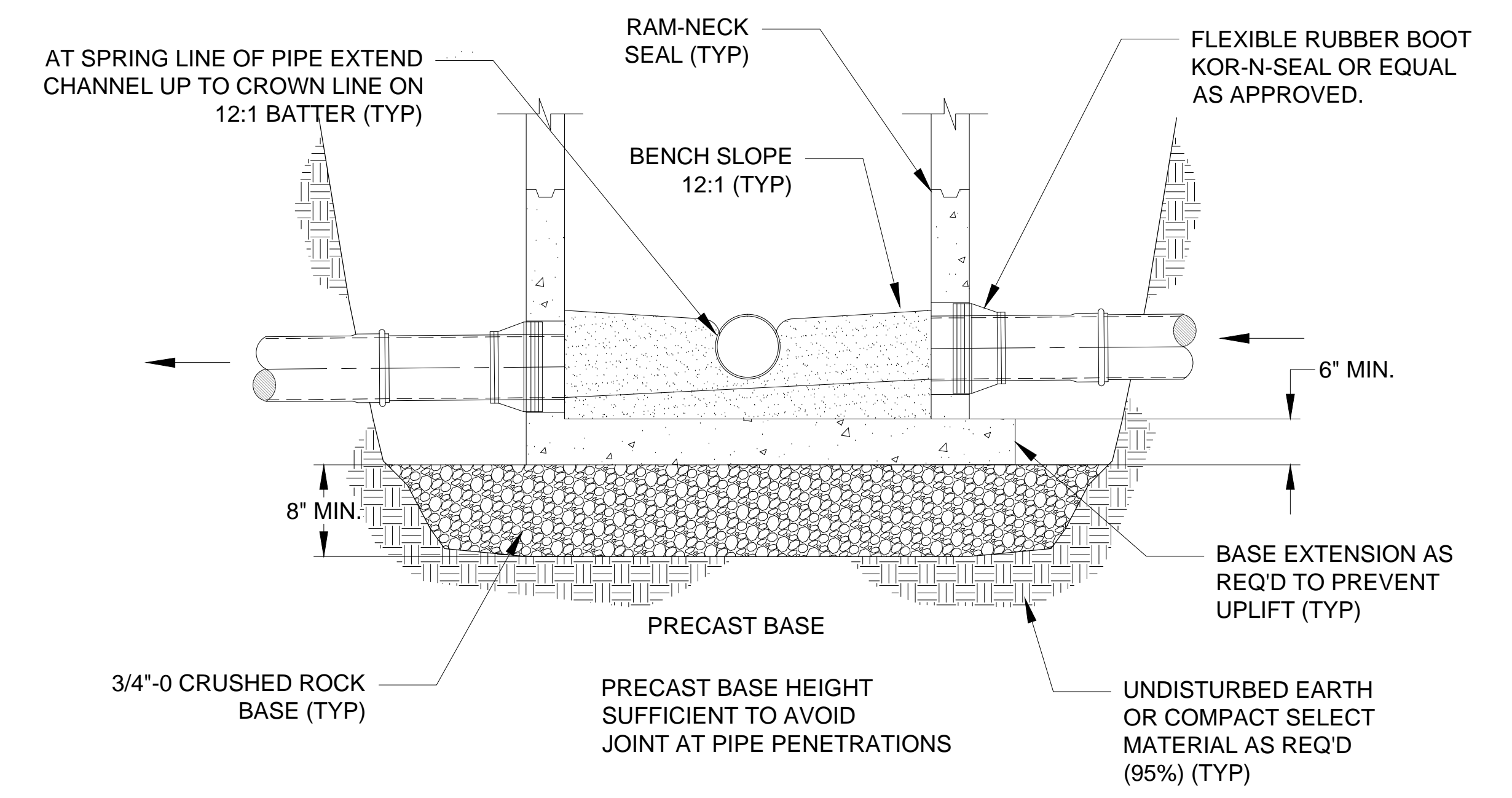
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C1.8
TYPICAL MANHOLE DETAIL
NOT TO SCALE

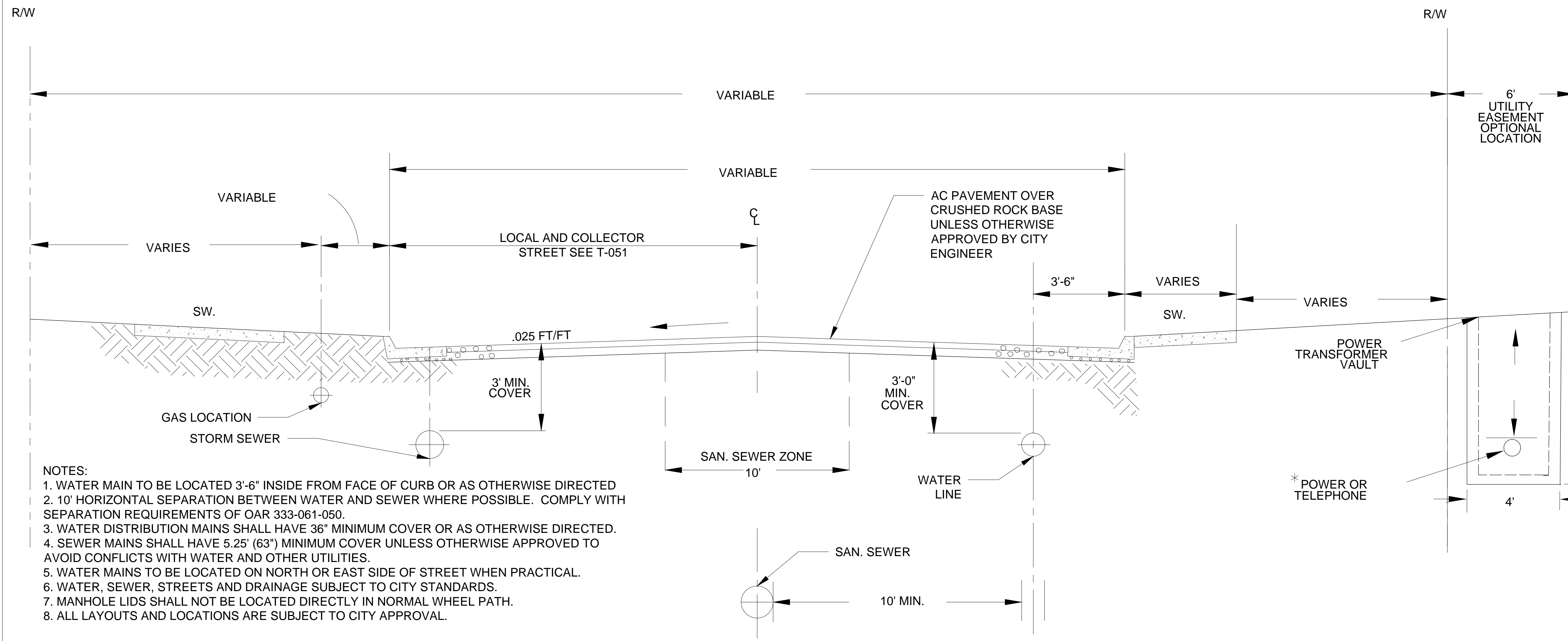


2
C1.8
FLAT TOP MANHOLE DETAIL
NOT TO SCALE



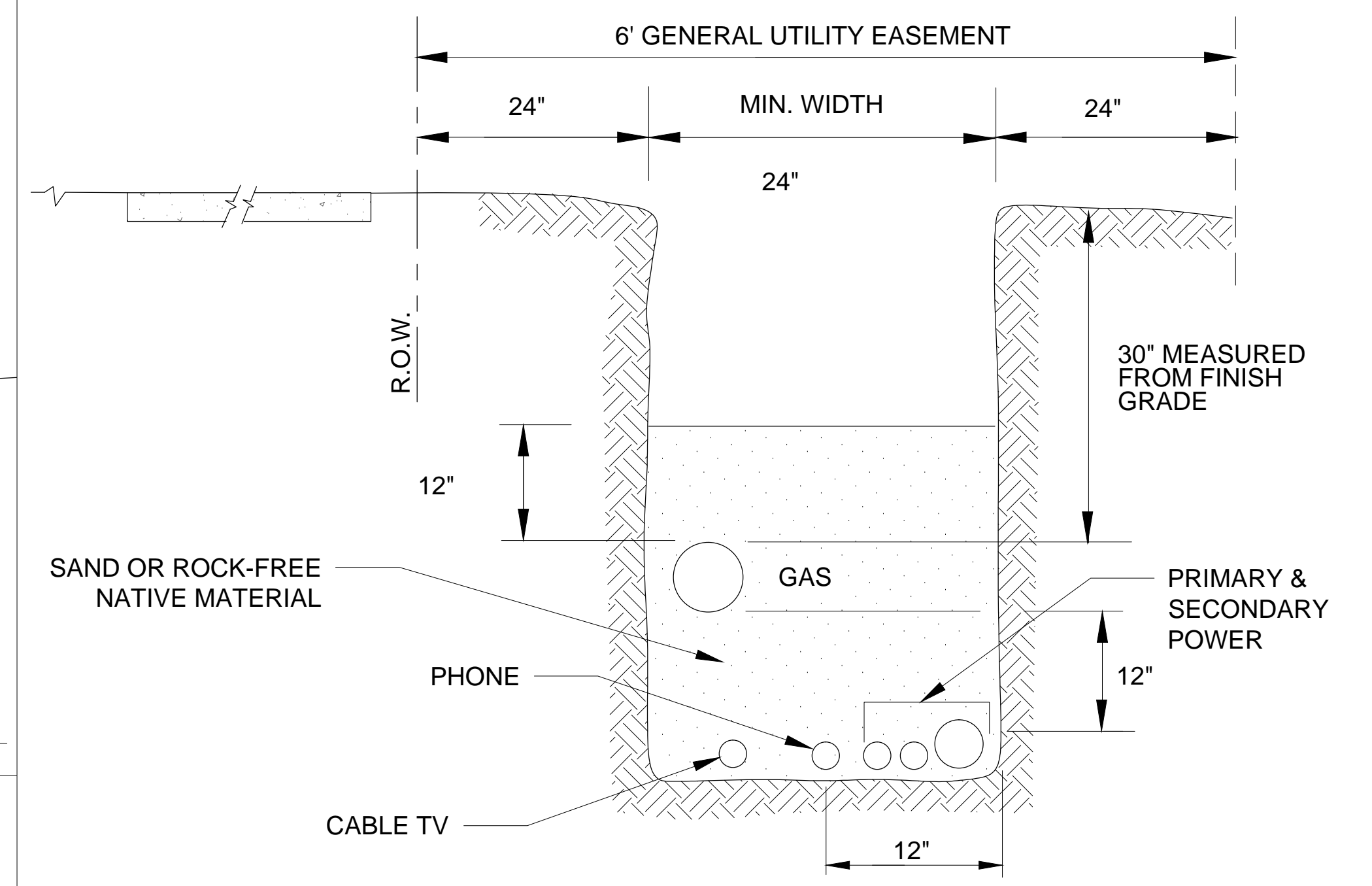
3
C1.8
MANHOLE BASE DETAIL
NOT TO SCALE



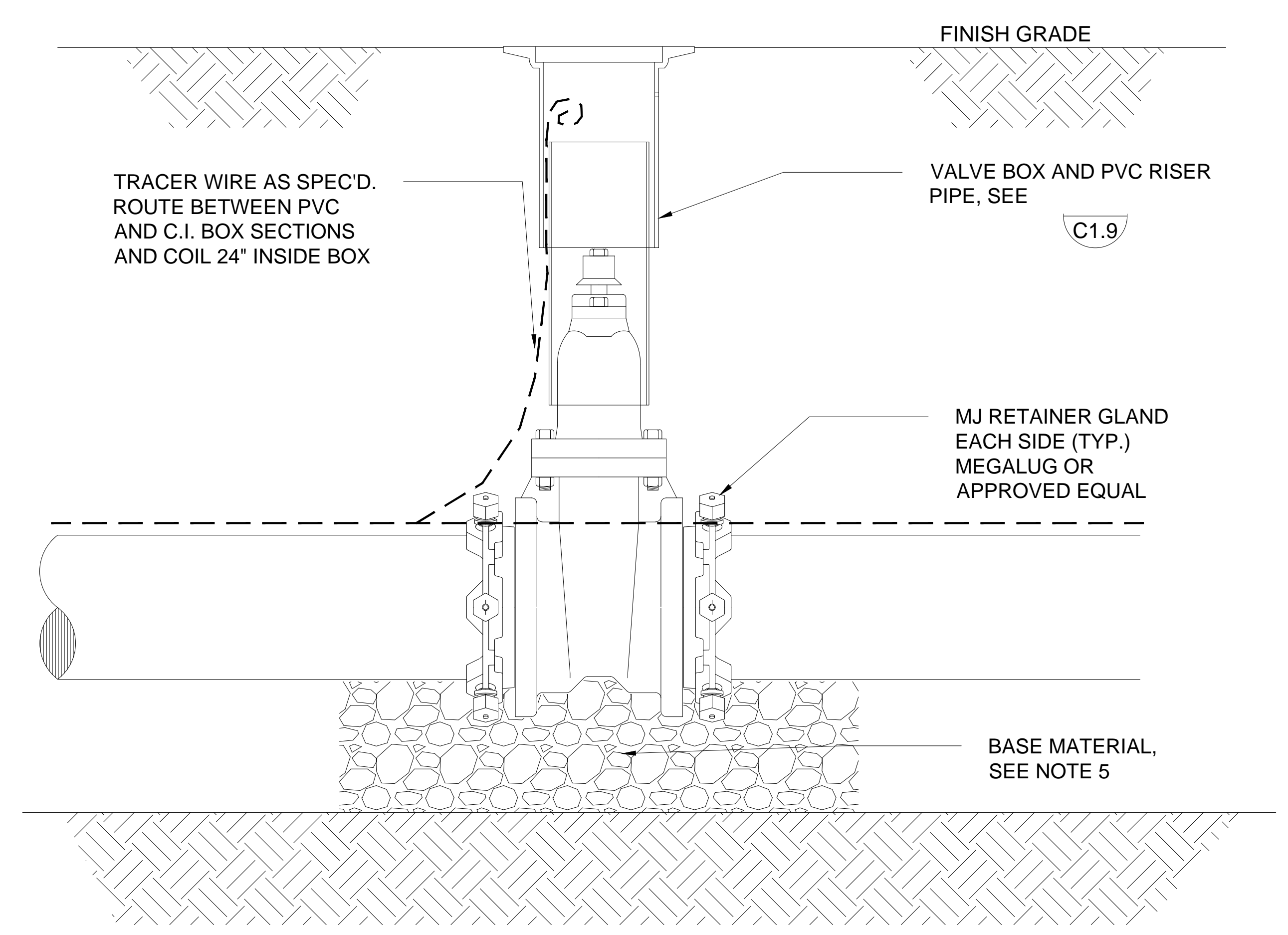


- NOTES:
1. WATER MAIN TO BE LOCATED 3'-6" INSIDE FROM FACE OF CURB OR AS OTHERWISE DIRECTED
 2. 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER WHERE POSSIBLE. COMPLY WITH SEPARATION REQUIREMENTS OF OAR 333-061-050.
 3. WATER DISTRIBUTION MAINS SHALL HAVE 36" MINIMUM COVER OR AS OTHERWISE DIRECTED.
 4. SEWER MAINS SHALL HAVE 5.25' (63") MINIMUM COVER UNLESS OTHERWISE APPROVED TO AVOID CONFLICTS WITH WATER AND OTHER UTILITIES.
 5. WATER MAINS TO BE LOCATED ON NORTH OR EAST SIDE OF STREET WHEN PRACTICAL.
 6. WATER, SEWER, STREETS AND DRAINAGE SUBJECT TO CITY STANDARDS.
 7. MANHOLE LIDS SHALL NOT BE LOCATED DIRECTLY IN NORMAL WHEEL PATH.
 8. ALL LAYOUTS AND LOCATIONS ARE SUBJECT TO CITY APPROVAL.

1 STANDARD UTILITY LOCATIONS
C1.9 NOT TO SCALE

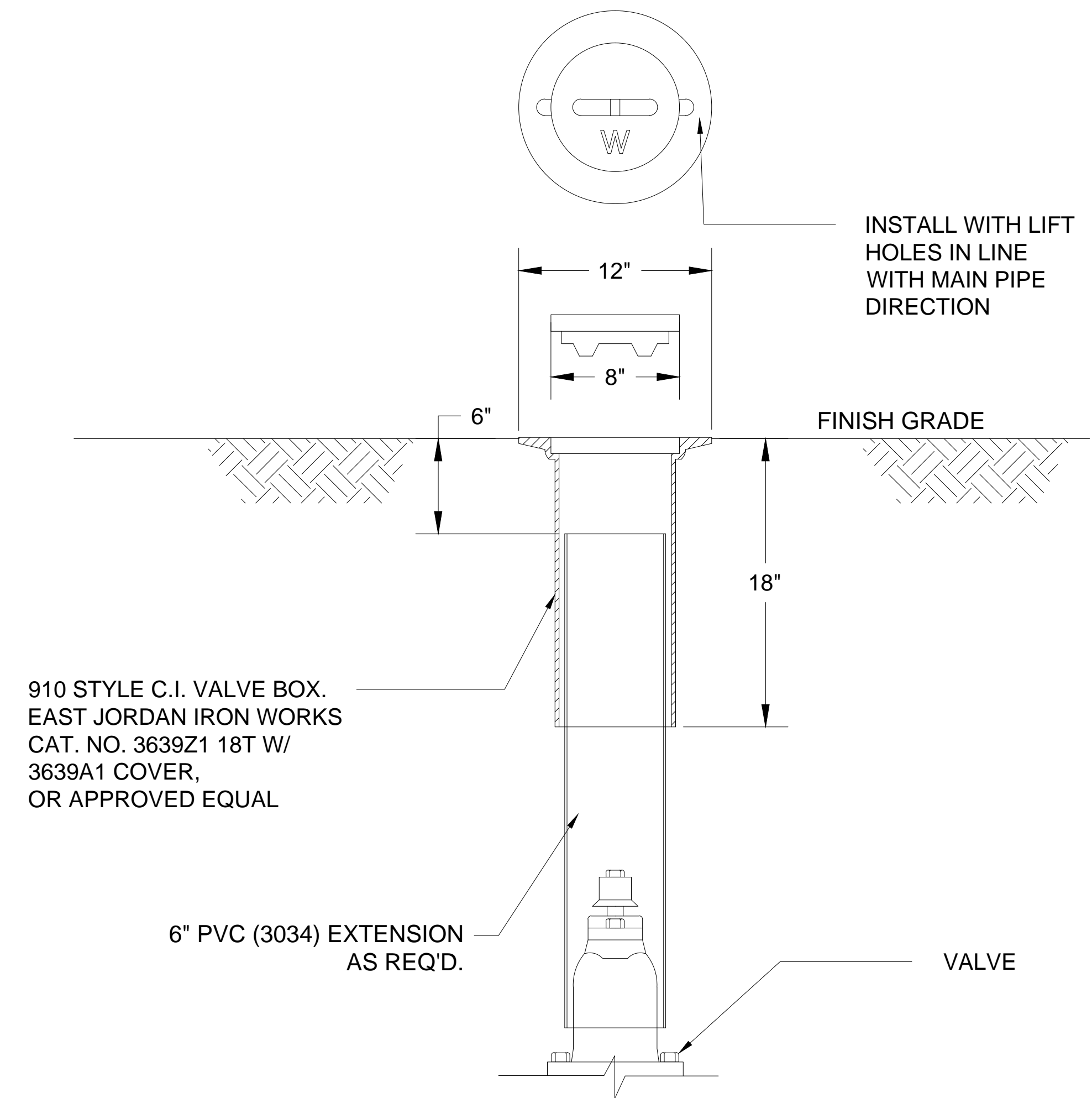


2 JOINT TRENCH DETAIL (OPTIONAL)
C1.9 NOT TO SCALE

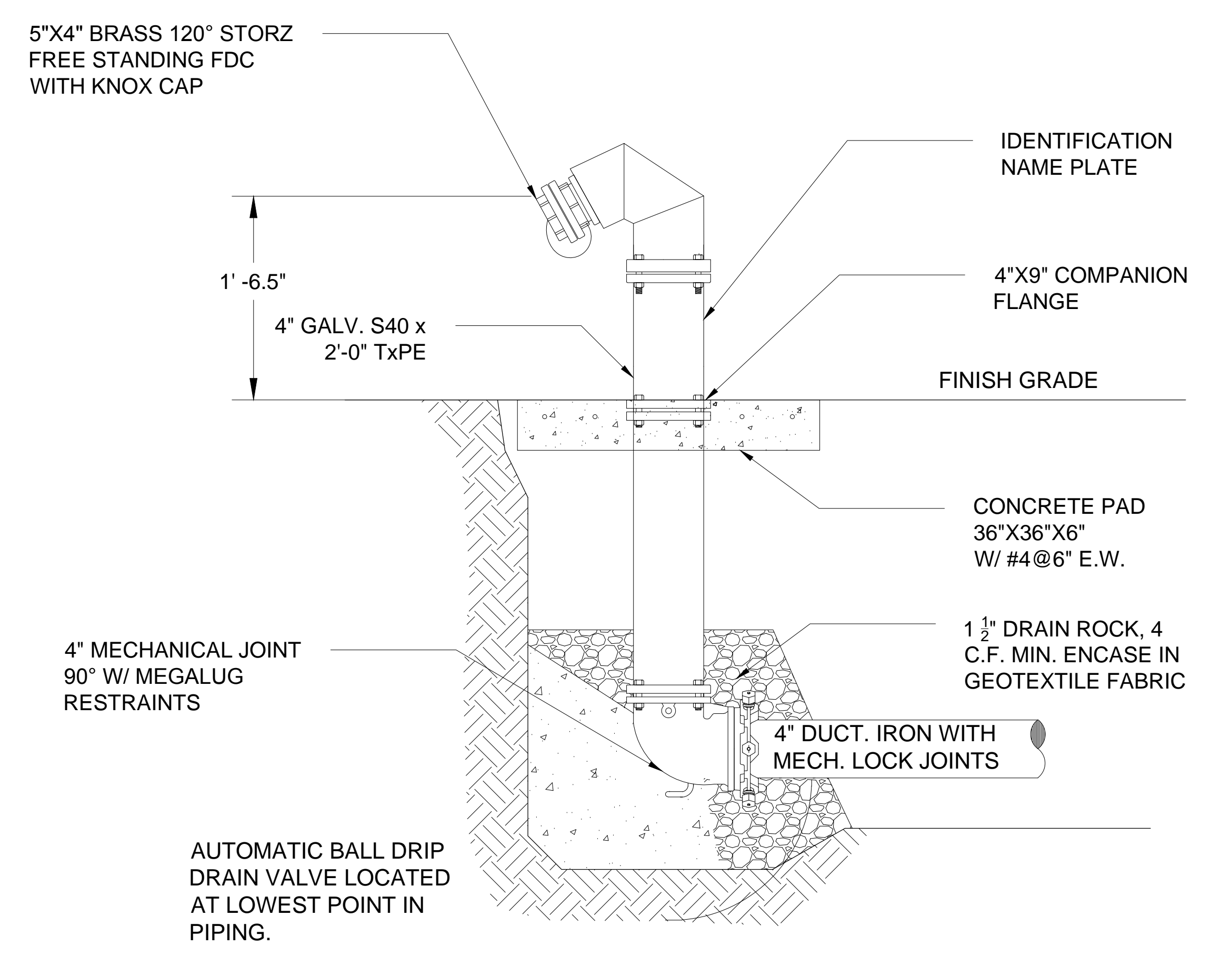


- NOTE:
1. VALVE BOX SHALL BE CENTERED OVER VALVE OPERATING NUT.
 2. PVC EXTENSION SHALL BEGIN AS CLOSE TO VALVE AS POSSIBLE AND SHALL EXTEND TO WITHIN 6" OF GROUND SURFACE.
 3. TOP OF VALVE BOX SHALL BE FLUSH WITH FINISH GRADE.
 4. VALVE EQUIPPED WITH 2" SQUARE OPERATING NUT.
 5. VALVES 12" AND SMALLER SHALL BE PROVIDED WITH COMPACTED CLASS "B" PER SECTION 02320, UNLESS OTHERWISE DIRECTED.
 6. NO PIPE JOINTS ALLOWED WITHIN 10' OF IN-LINE VALVES UNLESS JOINT RESTRAINT DEVICE IS PROVIDED.

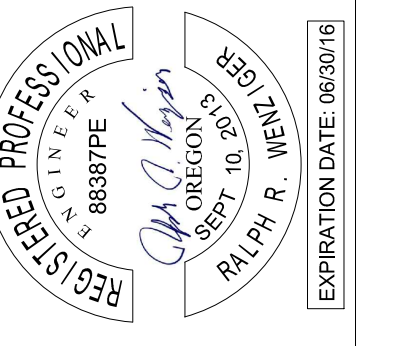
3 IN-LINE GATE VALVE DETAIL
C1.9 NOT TO SCALE



4 VALVE BOX AND RISER DETAIL
C1.9 NOT TO SCALE

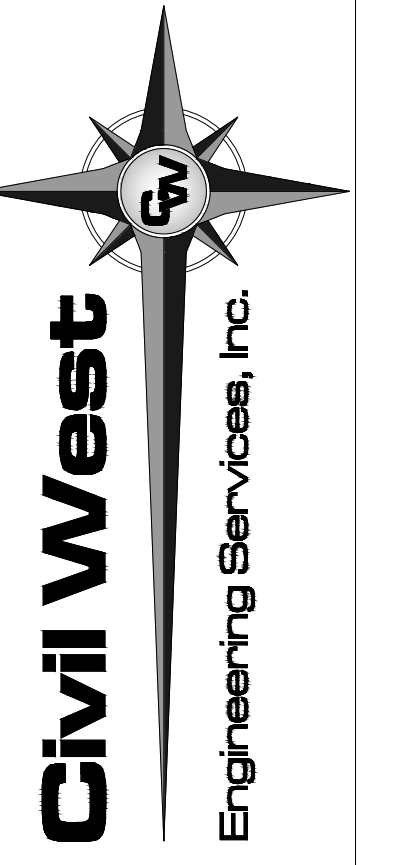


5 FIRE DEPARTMENT CONNECTION FDC
C1.9 NOT TO SCALE



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295 SE Main Street
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EXPIRATION DATE: 08/31/15



CIVIL DETAILS

Drawn By	VAS
Checked	RRW
Date	17 JUNE 2015
Project	1419

C1.9